



Community Development Department
 14000 City Center Dr., Chino Hills, CA 91709
 (909) 364-2740 Fax (909) 364-2795
 www.chinohills.org

DR No.: _____
 Submittal Date: _____
 Accepted By: _____

DESIGN REVIEW: CUSTOM HOME APPLICATION

PROJECT INFORMATION

Location: _____
 Zoning: _____ Planned Development: _____
 Tract / Lot No.(s) / APN No.: _____
 Is there a Home Owners Association? Yes* No * If yes, include approval letter from HOA Board

APPLICANT INFORMATION

Name: _____
 Address: _____
 Phone: _____ Email: _____

PROPERTY OWNER INFORMATION

Name: _____
 Address: _____
 Phone: _____ Email: _____

SITE INFORMATION

LOT AREA (SQ.FT.):
BUILDING AREA (SQ.FT.):
HEIGHT OF STRUCTURES:

AREA	EXISTING	PROPOSED
Livable (1 st floor)		
Livable (2 nd floor)		
Livable (3 rd floor)		
Garage		
Total floor area/footprint		
Total roof area (including eaves)		
Veranda		
Patio, Open: Yes/ No		
Other Structure (Please Specify):		
Flatwork Inside Front Yard Setback		

PROPOSED BUILDING MATERIALS

Exterior Wall Finish Material:
 Color (List, Mfg., # etc.):
 Eave Color (List, Mfg., # etc.):
 Window Trim (List, Mfg., # etc.):
 Roof Type/Color (List, Mfg., # etc.):
 Window Treatment (example: square or mulled arch):



DESIGN REVIEW: CUSTOM HOME APPLICATION

This application is required for any residential construction on vacant property, any structural additions which are equal to fifty percent (50%) or more of the floor area of the existing on-site buildings, and any reconstruction projects which are equal to fifty percent (50%) or more of the floor area of the existing on-site buildings. All design review applications require approval by the Planning Commission.

APPLICATION FEE: Refer to the Community Development Fee/Deposit Schedule for application fee amounts.

ADDITIONAL FEES:

Building and Safety Review: For projects requiring a Geology Report, or a Geologic Feasibility Analysis. Refer to the Community Development Fee/Deposit Schedule for application fee amounts. This deposit must be submitted to the Building and Safety public service counter by a separate check.

APPLICATION PROCESSING:

Within 30 days after the submittal date, a letter will be sent to you to notify whether your application is deemed complete. Your application will be scheduled for review by the Planning Commission within 60 days of being deemed complete.

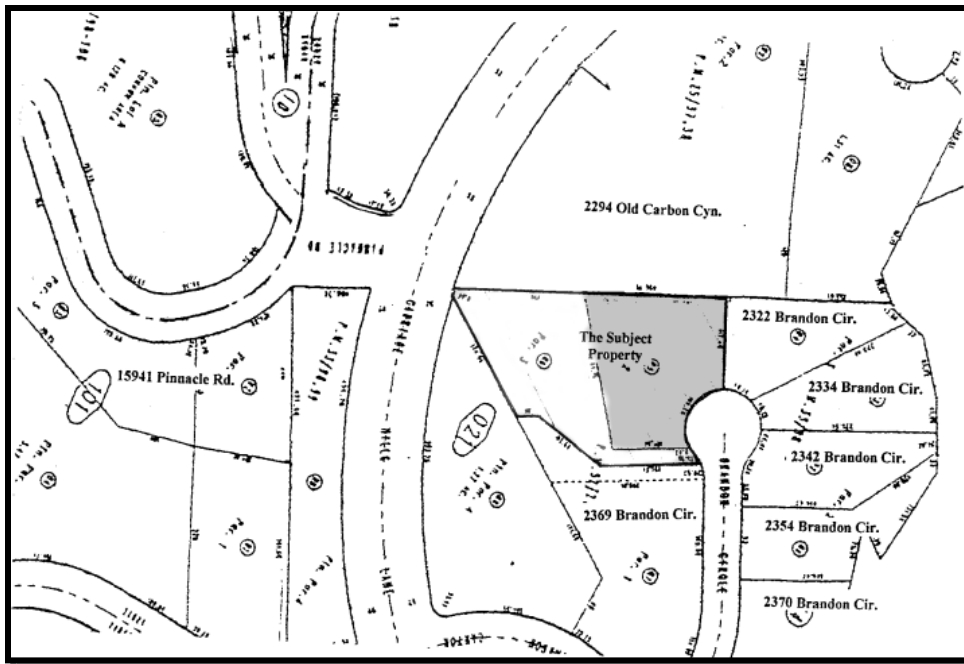
TREE PRESERVATION ORDINANCE:

For projects containing protected trees pursuant to Chapter 16.90 of the City of Chino Hills Municipal Code, a Tree Permit application will be required to remove or relocate protected trees. The tree permit application will be submitted concurrent with the Design Review application. Refer to the Community Development Fee/Deposit Schedule for application fee amounts.

SUBMITTAL REQUIREMENTS:

- INITIAL APPLICATION DEPOSIT FEE:** Submittal date is determined as the day when the fee is paid.
- If applicable, written documentation or stamped project plans showing Home Owner Association approval.
- Five (5) sets** of 24"x 36" size plans (including scale used, setbacks, existing trees/natural elements, and property lines). Plan sets should include:
 - Site Plan (including all eaves).
 - Colored Elevation Plan (including all elevations) – Provide materials samples; manufacturer's name, numbers and names of colors.
 - Floor Plan (including all floor area).
 - Conceptual Grading Plan (including all retaining and freestanding walls).
- One (1) set** of plans reduced to 11" x 17" (for copying purpose).
 - Site Plan (including all eaves).
 - Colored Three Dimensional Rendering (including all elevations visible from the public right-of-way) –provide manufacturer's name, numbers and names of colors.
 - Floor Plan (including all floor area).
 - Conceptual Grading Plan (including all retaining and freestanding walls).
 - Colored Elevation Plan (including all elevations) – Provide materials samples; manufacturer's name, numbers and names of colors.

- One (1) copy** of a Vicinity Map reduced to 8 ½ x 11. Please label each property surrounding the project site with its address. Below is an example of a vicinity map labeled with neighboring property addresses.



- Proof of property ownership (i.e. copy of Grant Deed).
- One (1) Color and Material Samples Exhibit** (8 ½ x 11 or 11 x 17) for proposed project. Please provide materials samples; manufacturer's name, numbers and names of colors.
- One (1) set of contiguous property owner mailing labels.**
- Provide a Building Envelope Study for all lands within six hundred (600) feet of the centerline of Carbon Canyon Road, which includes (Reference [Building Envelope Standards](#)):
 - The Canon Lane area, including: Tract 1913 and Tract 1945
 - The Sleepy hollow area, including: Tract 1868, Tract 2037, Tract 2211, Tract 2325, The "Carbon Canyon Tract," and The "Sleepy Hollow Tract."
- Identify all trees on the site plan, showing existing trees and trees to be removed. Refer to Chapter 16.90 of the Municipal Code for tree removal or relocation permit requirements.
- One (1) digital copy** of the project plans in PDF format on a flash/thumb drive.