



BUILDING ENVELOPE STANDARDS

The City of Chino Hills seeks to preserve much of its character in its hillside settings and its topographic forms. In order to maintain the natural features of Chino Hills' ridgelines, knolls, and hillsides, new development proposed in hillside areas are required to provide a Building Envelope Study.

Hillside area means all properties in the city, which have a natural slope of fifteen (15) percent on any existing or proposed parcel that is proposed for development.

All lands within six hundred (600) feet of the centerline of Carbon Canyon Road are required to provide a Building Envelope Study, which includes:

- A. The Canon Lane area, including: Tract 1913 and Tract 1945
- B. The Sleepy Hollow area, including: Tract 1868, Tract 2037, Tract 2211, Tract 2358, The "Carbon Canyon Tract," and the "Sleepy Hollow Tract."

The Building Envelope for all structures shall be as follows:

- A. Downhill Lots: A ten (10) foot minimum front setback; twelve (12) foot height at setback extending up and towards the rear of the lot at forty-five (45) degrees to twenty-five (25) feet total height; thirty (30) foot height limit over sloping portions measured from finish grade; and fifteen (15) foot minimum rear setback. Figure 1 illustrates the building envelope for downhill lots.

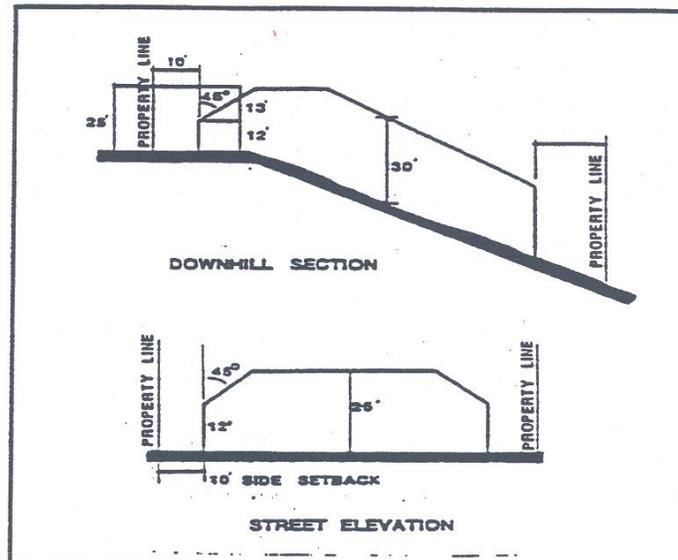


Figure 1

SEE REVERSE SIDE FOR ADDITIONAL REQUIREMENTS

- B. Uphill Lots: A ten (10) foot minimum front setback; twelve (12) foot height at setback extending up and towards the rear of the lot at forty-five (45) degrees to a maximum height of thirty-five (35) feet measured from finish grade; and fifteen (15) foot minimum rear setback. Figure 2 illustrates the building envelope for uphill lots.

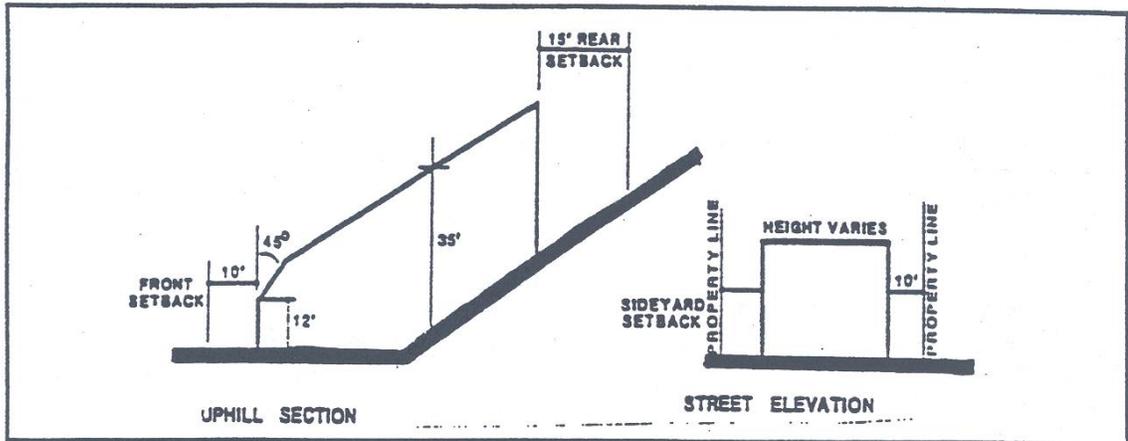


Figure 2

- C. Cross Slope Lots: Similar requirements as for uphill and downhill lots, except that height at front setback may be averaged across frontage inside the side yard setbacks. Figure 3 illustrates the building envelope for cross slope lots.

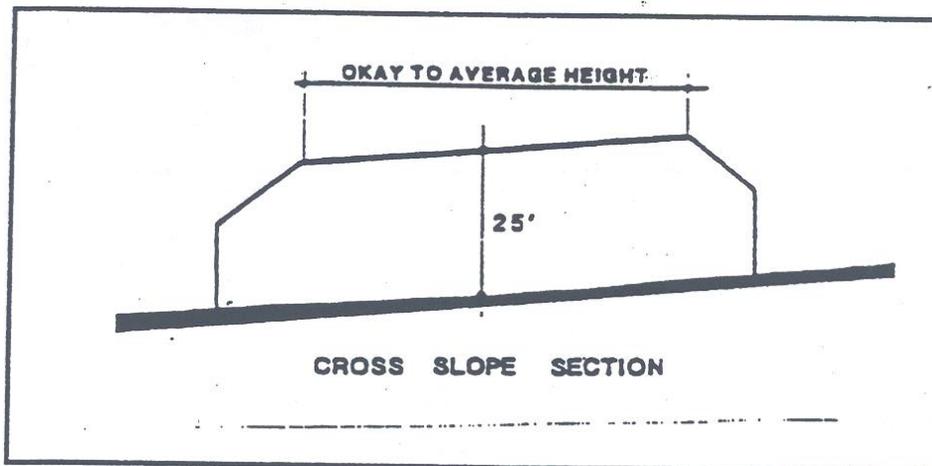


Figure 3

The Building Envelope Study must be included on the Elevation Plans of the Design Review. The Elevation Plans need to show the location of the property lines, front and rear setbacks, building height, maximum building height, and the building envelope. Figure 4 provides an example of what the City is looking for in terms of providing a Building Envelope Study.

