

AGENDA

CHINO HILLS PLANNING COMMISSION
REGULAR MEETING
TUESDAY, FEBRUARY 7, 2017

7:00 P.M. PUBLIC MEETING/PUBLIC HEARINGS

CIVIC CENTER
CITY COUNCIL CHAMBERS
14000 CITY CENTER DRIVE
CHINO HILLS, CALIFORNIA

This agenda contains a brief general description of each item to be considered. Except as otherwise provided by law, no action shall be taken on any item not appearing on the agenda unless the Planning Commission makes a determination that an emergency exists or that a need to take immediate action on the item came to the attention of the City subsequent to the posting of the agenda. The Planning Commission Secretary has on file copies of written documentation relating to each item of business on this Agenda available for public inspection in the Community Development Department, and on the City's website at www.chinohills.org while the meeting is in session. Materials related to an item on this Agenda submitted to the Planning Commission after distribution of the agenda packet are available for public inspection in the Community Development Department at 14000 City Center Drive, Chino Hills, CA during normal business hours.

In compliance with the Americans with Disabilities Act, if you require special assistance to participate in this meeting, please contact the Planning Commission Secretary, (909) 364-2742, at least 48 hours prior to the start of the meeting to enable the City to make reasonable arrangements. Thank you.

Speaker Cards - Those persons wishing to address the Planning Commission on any matter, whether or not it appears on the agenda, are requested to complete and submit to the Planning Commission Secretary a "Request to Speak" form available at the entrance to the City Council Chambers. In accordance with the Public Records Act, any information you provide on this form is available to the public. Comments will be limited to three minutes per speaker. You are not required to provide personal information in order to speak, except to the extent necessary for the Planning Commission Chairman to call upon you.

PLEASE SILENCE ALL PAGERS, CELL PHONES AND OTHER ELECTRONIC EQUIPMENT WHILE THE PLANNING COMMISSION IS IN SESSION. Thank you.

PLANNING COMMISSION MEMBERS

ADAM ELIASON, CHAIR
STEPHEN ROMERO, VICE CHAIR
GARY LARSON
MICHAEL STOVER
SHERAN VOIGT

1. CALL TO ORDER

2. ROLL CALL

3. PLEDGE OF ALLEGIANCE TO THE FLAG

4. PUBLIC COMMENTS: *At this time members of the public may address the Planning Commission regarding any items within the subject matter jurisdiction of the Planning Commission, whether or not the item appears on the agenda, except testimony on Public Hearing items must be provided during those hearings. Those persons wishing to address the Planning Commission are requested to complete and submit to the Planning Commission Secretary a "Request to Speak" form available at the entrance to the City Council Chambers. Comments will be limited to three minutes per speaker.*

5. CONSENT CALENDAR: *All matters listed on the Consent Calendar are considered routine by the Planning Commission and may be enacted by one motion in the form listed below. There will be no separate discussion of these items unless, before the Planning Commission votes on the motion to adopt, Members of the Planning Commission, staff or the public request the matter to be removed from the Consent Calendar for separate action. Removed consent items will be discussed immediately after the adoption of the balance of the Consent Calendar.*

- a. CONSIDERATION OF THE MINUTES OF THE JANUARY 17, 2017 REGULAR MEETING

RECOMMENDED ACTION: Approve as submitted.

- b. CUSTOM HOME DESIGN REVIEW NO. 431 – 2566 VIEWRIDGE DRIVE SGS INTERNATIONAL

RECOMMENDED ACTION: Adopt the following Resolution:

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF CHINO HILLS APPROVING CUSTOM HOME DESIGN REVIEW NO. 431 FOR THE CONSTRUCTION OF A 5,690 SQUARE FOOT, TWO-STORY, SINGLE-FAMILY DETACHED HOME WITH A 908-SQUARE FOOT, THREE CAR GARAGE LOCATED AT 2566 VIEWRIDGE DRIVE AND DETERMINING THAT THE PROJECT IS EXEMPT FROM REVIEW UNDER THE CALIFORNIA ENVIRONMENTAL QUALITY ACT.

- c. CUSTOM HOME DESIGN REVIEW NO. 435 – 3417 WHIRLAWAY LANE

RECOMMENDED ACTION: Adopt the following Resolution:

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF CHINO HILLS APPROVING CUSTOM HOME DESIGN REVIEW NO. 435 FOR THE CONSTRUCTION OF A 1,135-SQUARE FOOT, TWO-STORY ADDITION/ REMODEL TO AN EXISTING 2,013 SQUARE-FOOT ONE-

STORY, SINGLE-FAMILY DETACHED HOME WITH AN ATTACHED TWO-CAR GARAGE LOCATED AT 3417 WHIRLWAY LANE AND DETERMINING THAT THE PROJECT IS EXEMPT FROM REVIEW UNDER THE CALIFORNIA ENVIRONMENTAL QUALITY ACT.

- d. CUSTOM HOME DESIGN REVIEW NO. 443 – 3104 GIANT FOREST LOOP

RECOMMENDED ACTION: Adopt the following Resolution:

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF CHINO HILLS APPROVING CUSTOM HOME DESIGN REVIEW NO. 443 FOR THE CONSTRUCTION OF A 2,808 SQUARE FOOT, ONE-STORY, SINGLE-FAMILY DETACHED HOME WITH A 900-SQUARE FOOT, THREE-CAR GARAGE LOCATED AT 3104 GIANT FOREST LOOP AND DETERMINING THAT THE PROJECT IS EXEMPT FROM REVIEW UNDER THE CALIFORNIA ENVIRONMENTAL QUALITY ACT.

- e. FINDING OF GENERAL PLAN CONFORMITY FOR THE TRANSFER OF NINE CITY OWNED PARCELS WITHIN THE LOWER LOS SERRANOS FLOOD CONTROL CHANNEL.

RECOMMENDED ACTION: Adopt the following Resolution:

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF CHINO HILLS FINDING THE POSSIBLE TRANSFER OF LAND AND/OR INTERESTS IN FOUR (4) PARCELS TO THE SAN BERNARDINO COUNTY FLOOD CONTROL DISTRICT AND FIVE (5) PARCELS TO THE STATE OF CALIFORNIA DEPARTMENT OF TRANSPORTATION (CALTRANS) TO BE IN CONFORMANCE WITH THE CHINO HILLS GENERAL PLAN.

6. DISCUSSION CALENDAR: *This portion of the Planning Commission Agenda is for all matters where staff and public participation is anticipated. Individual audience participation is limited to three minutes. Please complete and submit a speaker card to the Planning Commission Secretary.*

None.

7. PUBLIC HEARINGS: *This portion of the Planning Commission Agenda is for all matters that legally require an opportunity for public input. Individual audience participation is encouraged and is limited to three minutes. Please complete and submit a speaker card to the Planning Commission Secretary*

None.

All Planning Commission decisions may be appealed to the City Council. An appeal of a Planning Commission decision must be filed with the City Clerk within ten (10) working days of the meeting. Please contact the City Clerk at (909) 364-

2620 for further information about filing an appeal or obtaining an appeal application.

8. STAFF INFORMATION AND AGENDA FORECAST

9. COMMISSION INFORMATION AND COMMENTS

ADJOURNMENT

MINUTES

PLANNING COMMISSION CITY OF CHINO HILLS

January 17, 2017

REGULAR MEETING

ITEM # 1 – CALL TO ORDER

Chairman Eliason called the Regular Meeting of the Planning Commission of the City of Chino Hills to order at 7:00 p.m.

ITEM # 2 – ROLL CALL

PRESENT COMMISSIONERS: GARY LARSON
MICHAEL STOVER
SHERAN VOIGT
STEPHEN ROMERO
ADAM ELIASON

ABSENT COMMISSIONERS: NONE

ALSO PRESENT: JOANN LOMBARDO, COMMUNITY DEVELOPMENT DIRECTOR
JERROD WALTERS, SENIOR PLANNER
ELIZABETH CALCIANO, ASSISTANT CITY ATTORNEY

ITEM # 3 – PLEDGE OF ALLEGIANCE TO THE FLAG

Chairman Eliason led the assembly in the Pledge of Allegiance.

ITEM # 4 – PUBLIC COMMENTS

Resident Al Matta made a recommendation that for any future development in the Carbon Canyon area, if a street is going to be constructed it be opposite another street that is going on the opposite side so that there is a four-way intersection. He also voiced concern that many of the streets in the Sleepy Hollow area do not allow for large emergency vehicles to maneuver in and out.

ITEM # 5 – CONSENT CALENDAR ITEMS

- a. CONSIDERATION OF THE MINUTES OF THE DECEMBER 20, 2016
REGULAR MEETING

RECOMMENDED ACTION: Approve as submitted.

PLANNING COMMISSION ACTION: The Planning Commission approved Item 5a.

MOTION: Voigt
SECOND: Romero
AYES: Larson, Stover, Voigt, Romero, Eliason
NOES: None
ABSENT: None
ABSTAIN: None

b. **CUSTOM HOME DESIGN REVIEW NO. 433 – 16005 EIGER COURT**

RECOMMENDED ACTION: Adopt the following Resolution:

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF CHINO HILLS APPROVING CUSTOM HOME DESIGN REVIEW NO. 433 FOR THE CONSTRUCTION OF A 6,939-SQUARE FOOT, TWO-STORY, SINGLE-FAMILY DETACHED HOME WITH AN ATTACHED THREE-CAR GARAGE AND ONE DETACHED TWO-CAR GARAGE TOTALING 1,419 SQUARE FEET LOCATED AT 16005 EIGER COURT AND DETERMINING THAT THE PROJECT IS EXEMPT FROM REVIEW UNDER THE CALIFORNIA ENVIRONMENTAL QUALITY ACT.

Commissioner Romero asked if the proposed custom home was located in a homeowners association (HOA) and if it is, did the HOA issue approval to the applicant. Staff responded by stating that the proposed custom home will be located within the Oak Tree Downs gated community and stated that the applicant did receive HOA approval. Commissioners Romero and Voigt also requested that Design Review applicants be requested to provide color and material boards with their submittals. Community Development Director Joann Lombardo responded that we typically require the material boards, etc., for larger or commercial developments, but have not had the requirement for single-family homes because it would be an additional expense for the homeowner. She suggested we start by providing the Commission a full color and materials sheet, and if that proves not to be sufficient we can begin requiring color material boards.

Commissioner Voigt asked if the proposed solar panels for the new custom home would be sufficient power for such a large home. The Applicant, Jack Wang, responded by stating that the proposed solar panel design will provide sufficient power for the new custom home.

PLANNING COMMISSION ACTION: The Planning Commission approved Item 5b.

MOTION: Voigt
SECOND: Eliason
AYES: Larson, Stover, Voigt, Romero, Eliason
NOES: None
ABSENT: None

ABSTAIN: None

c. CUSTOM HOME DESIGN REVIEW NO. 434 – 3431 GIANT FOREST LOOP

RECOMMENDED ACTION: Adopt the following Resolution:

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF CHINO HILLS APPROVING CUSTOM HOME DESIGN REVIEW NO. 434 FOR THE CONSTRUCTION OF A 3,627-SQUARE FOOT, TWO-STORY ADDITION/ REMODEL TO AN EXISTING 4,129-SQUARE FOOT TWO-STORY, SINGLE-FAMILY DETACHED HOME WITH AN ADDITION/REMODELED FOUR-CAR GARAGE LOCATED AT 3231 GIANT FOREST LOOP AND DETERMINING THAT THE PROJECT IS EXEMPT FROM REVIEW UNDER THE CALIFORNIA ENVIRONMENTAL QUALITY ACT.

Staff informed the Commission that the adjacent neighbor who resides at 3219 Giant Forest Loop stopped by City Hall prior to the Planning Commission meeting to review the proposed project plans and expressed concern for privacy from the proposed second story California Room along the west side property line. Staff pointed out that the applicant is proposing to maintain the existing trees that currently provide landscape screening between both properties. Chairman Eliason asked staff if the proposed second story California Room complied with the City's development standards, which staff responded by stating that it does.

Commissioner Voigt asked staff if the remodeled swimming pool would be included in the overall square footage to determine if the proposed project would be required to comply with the City's landscape and water conservation requirements. Staff responded by stating that AB 1881 requires any new water surface area (i.e. swimming pool, fountain or pond) to be included in the overall landscape square footage for any new landscaping proposed as part of the custom home addition to determine if the project would be required to comply with the City's landscape and water conservation requirements.

PLANNING COMMISSION ACTION: The Planning Commission approved Item 5c.

MOTION: Larson
SECOND: Stover
AYES: Larson, Stover, Voigt, Romero, Eliason
NOES: None
ABSENT: None
ABSTAIN: None

ITEM # 6 – DISCUSSION ITEMS

None.

ITEM # 7 – PUBLIC HEARING

- a. CONDITIONAL USE PERMIT NO. 16CUP02 FOR A REMODEL AND ADDITION AT THE HEIGHTS CHRISTIAN SCHOOL LOCATED AT 2549 MADRUGADA DRIVE – CONTINUANCE.

RECOMMENDED ACTION: Continue the public hearing for Conditional Use Permit No. 16CUP02 off calendar.

Staff informed the Planning Commission that they were notified by the applicant just prior to the meeting that they will be withdrawing their application.

- b. MUNICIPAL CODE AMENDMENT NO. 17MCA01 AMENDING SECTIONS OF THE MUNICIPAL CODE AND ADDING CHAPTER 16.92 TO THE MUNICIPAL CODE TO PROHIBIT SPECIFIC OUTDOOR AND COMMERCIAL MARIJUANA-RELATED USES AND ACTIVITIES.

RECOMMENDED ACTION: Adopt a resolution:

Recommending to the City Council the approval of Municipal Code Amendment No. 17MCA, Amends Chapter 16.02.250 of the Municipal Code Relative to Definitions of Medical Marijuana Uses, Amends Appendix A of the Municipal Code Relative to Marijuana Related Uses, and Adds Chapter 16.92 to the Municipal Code to Prohibit Specific Outdoor and Commercial Marijuana-Related Uses and Activities in all Zoning Districts of the City, and Determining the Municipal Code Amendment is Exempt from Review under the California Environmental Quality Act.

Assistant City Attorney Elizabeth Calciano made a brief presentation to the Planning Commission.

Resident Al Matta expressed his opposition to marijuana having worked in Compton for 36 years as a physical education instructor and coach and seeing the damage caused to students and their families. He said he is happy that the City is taking this matter seriously and as a member of the Healthy Cities Steering Committee he wants to see that continue.

Ms. Calciano answered the Commission's questions about where and how many plants can be grown and state and federal laws concerning the subject.

Commissioner Voigt commented that the report was powerful and we should not allow it in our City. Commissioners Larson and Romero agreed. Commissioner Stover said that we can benefit from federal narcotics laws and the experiences of other cities. He said that this is a measured proper step consistent with voter approval.

PLANNING COMMISSION ACTION: The Planning Commission approved Item 7b.

MOTION: Stover
SECOND: Voigt
AYES: Larson, Stover, Voigt, Romero, Eliason
NOES: None
ABSENT: None
ABSTAIN: None

ITEM # 8 – STAFF INFORMATION AND AGENDA FORECAST

Ms. Lombardo said she wanted to make sure the Commissioners received the follow-up information on Los Serranos from staff member Melissa Beeler and if there are further questions to email staff. Ms. Lombardo said there will be a couple of design reviews to bring to the meeting of February 7. Staff is getting close on the Sign Ordinance and will be bringing it to either the first or second meeting in February. She said it will be comprehensive and may take the Commission some time to go through it. Staff has a number of other code changes that will be coming before the Commission this spring.

ITEM # 9 – PLANNING COMMISSION INFORMATION AND COMMENTS

Commissioner Eliason inquired about the sale of Tres Hermanos. Ms. Lombardo said that she doesn't have details but that she understood that the City of Industry made an offer. Ms. Calciano said the offer has to be approved by the oversight agency.

Commissioner Romero inquired about whether the City of Industry, if the sale is approved, has any special powers in terms of zoning and land use above a private buyer. Ms. Lombardo said that the City of Chino Hills has land use authority over the land because it is within our incorporated borders. What is different with a state or federal agency is that they are a superior agency. This is a parallel agency so the City can assert our land use authority.

Commissioner Romero asked if there was an update on the Carbon Canyon traffic study report. Ms. Lombardo answered that it is ongoing and should take close to 12 months. Staff is looking at some potential traffic signal locations that may proceed ahead of the study.

Commissioner Stover asked if there was anything new to share on any of the major commercial or residential developments. Ms. Lombardo said there is a lot of construction going on currently as a result of the projects that the Commission has reviewed and approved during the last two years. She added that we do have the Buddhist temple, some smaller subdivisions, and another church on Peyton coming forward soon, but in terms of commercial development we have nothing new to report. She said the Costco gas station is currently under review.

ADJOURNMENT

Chairman Eliason adjourned the meeting at 7:54 PM.

Respectfully submitted,

Karen Pulvers
Planning Commission Secretary



PLANNING COMMISSION AGENDA STAFF REPORT

Meeting Date: February 7, 2017

Public Hearing:
Discussion Item:
Consent Item:

January 31, 2017

Agenda Item No.: 5b

TO: CHAIRMAN AND PLANNING COMMISSIONERS
FROM: JOANN LOMBARDO, COMMUNITY DEVELOPMENT DIRECTOR
SUBJECT: CUSTOM HOME DESIGN REVIEW NO. 431 – 2566 VIEWRIDGE DRIVE
SGS INTERNATIONAL

EXECUTIVE SUMMARY

The applicant, SGS International, is requesting approval of Custom Home Design Review No. 431 for the construction of a 5,690-square foot, two-story, single-family detached home with an attached 908-square foot three-car garage located at 2566 Viewridge Drive.

RECOMMENDATION

Staff recommends that the Planning Commission adopt the attached resolution approving Custom Home Design Review No. 431 based on the findings of facts as listed in the attached resolution and subject to the Conditions of Approval.

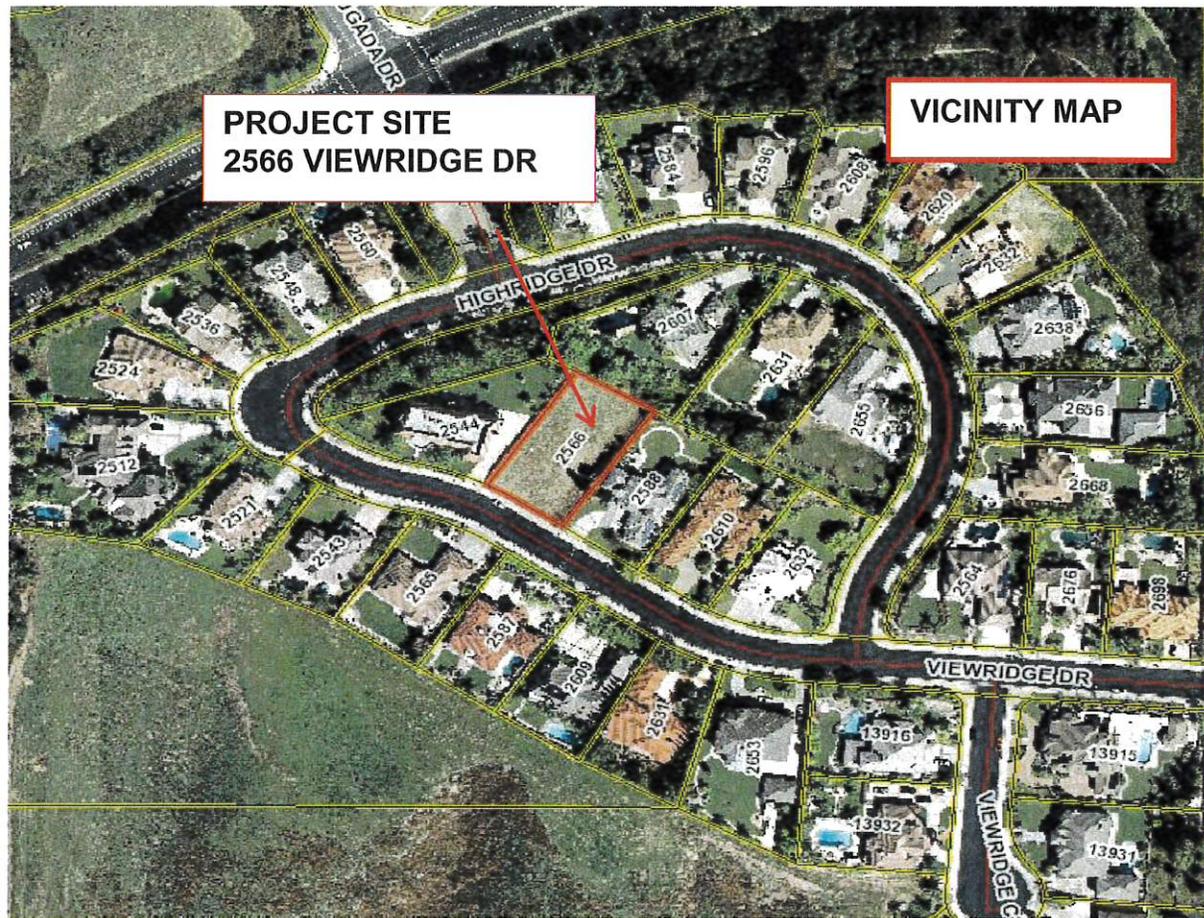
PROJECT:

CASE NO.: Custom Home Design Review No. 431
APPLICANT/
OWNER: SGS INTERNATIONAL
112 North Earle Street, San Gabriel, CA 91775
LOCATION: 2566 Viewridge Drive
Assessor's Parcel Number 1024-371-02

BACKGROUND

The project site is located at 2566 Viewridge Drive and is legally described as lot 2 of Tract 14219. The lot size is approximately 16,133 square feet and is zoned Planned Development PD 25-137. The project site is located within the Grand Pointe gated community consisting of one and two-story homes (Exhibit "B"). The Grand Pointe Homeowners Association has reviewed and approved the proposed project.

Pursuant to Sections 16.10.050, 16.06.130 and 16.20.090 of the Chino Hills Development Code, a Design Review approval is required for the construction of a new single-family residential unit within a planned development zoning district.



PROPOSAL

The applicant proposes to construct a two story, single-family detached home consisting of approximately 5,690 square feet of livable space and an attached 908-square foot three-car garage. The first floor, measuring 3,553 square feet, will consist of a grand foyer, living room, dining room, great room, kitchen, wok kitchen, office, laundry room, powder room, a master suite and one maid's suite. The second floor, measuring 2,137 square feet, will consist of a second master suite, two bedroom suites and a family room (Exhibit "A").

DEVELOPMENT STANDARDS

In accordance with Section 16.10.050 of the Development Code, the applicant has addressed the following design elements:

- General Plan and Zoning Consistency: The project site is identified as Low Density Residential on the General Plan Land Use Map and is zoned Planned Development PD 25-137. The proposed home is consistent with the standards of this district in that the proposed design and layout of the home maintains the proper setback requirements, is within the height limitations for residential

construction, and does not exceed the allowable lot coverage. The construction of a new single-family residence is subject to the approval of a Custom Home Design Review, pursuant to Sections 16.10.050 and 16.20.090 of the Development Code. If the Custom Home Design Review is approved, the proposed project would be consistent with the Development Code, a tool used to implement the General Plan. Approval of the proposed project furthers Goal H-1 and Goal H-2 of the General Plan by providing “a range of housing types while maintaining the City’s overall low density character”. In providing the applicant the opportunity to construct a new single-family residential dwelling unit in Chino Hills, the City furthers its goal of providing a range of housing types. Therefore, the approval of Custom Home Design Review No. 431, subject to the attached Conditions of Approval, would be consistent with the General Plan.

- **Building Size & Mass:** The proposed two-story, single-family home measures 29'-9" at its highest point. The maximum building height for PD 25-137 zoning district is 35'-0", therefore, the proposal meets the building height development standard (Exhibit "A").

The proposed floor area and improvements on the site are detailed below:

Proposed First Floor Area	3,553 sq. ft.
Proposed Second Floor Area	<u>2,137 sq. ft.</u>
Total Livable Floor Area	5,690 sq. ft.

<u>Total Building Footprint</u>	
Livable Area	3,553 sq. ft.
Three-Car Garage	908 sq. ft.
Porch/Veranda (beneath the roofline)	<u>47 sq. ft.</u>
Total Structure Coverage	4,508 sq. ft.

Total Impervious Area inside Front Yard Setback 662 sq. ft.

Section 16.10.030 of the Development Code allows 40% maximum lot coverage by structures and 50% maximum coverage by impervious surfaces within the front yard setback. As shown in the following table, the proposal meets the standards for lot coverage by structure and by impervious surfaces.

PROJECT INFORMATION	PROPOSAL	MAXIMUM ALLOWED	MEETS REQUIREMENT?
Property Size (sq. ft.)	16,133	--	--
Building Footprint (sq. ft.)	4,508	6,453	Yes
Percent Coverage by Structure	28%	40%	Yes
Front Yard Setback (sq. ft.)	1,858	--	--
Front Yard Impervious Surfaces (sq. ft.)	662	929	Yes
Percent Coverage by Front Yard Impervious Surfaces (sq. ft.)	37%	50%	Yes

Pursuant to Section 16.20.090, the size of the house is exempt from review by the Planning Commission if the overall size of the structure (livable area only, not including garage) does not vary by more than 10% from the largest or smallest existing house within the area. Based on the San Bernardino County Assessor's information, the largest and the smallest home in the project area are as follows:

2544 Viewridge Drive: 7,484 sq .ft (livable area only) +748 sq ft (=10%) =8,232 sq. ft.

2655 Highridge Drive: 3,360 sq.ft.(livable area only) -336 sq.ft (-10%) =3,024 sq. ft.

Proposed:

5,690 sq. ft.

Since the size of the proposed home is within the range of the 10% variation of the largest and the smallest house within the project area, the Planning Commission does not consider the proposed house size within the scope of the Design Review process.

- Building Materials: The applicant has submitted a color/materials board (Exhibit C).

MATERIAL	COLOR	MANUFACTURER
Light Concrete Roof Tiles	Village Blend #4617	Eagle Roofing
Exterior Wall Stucco	Navajo White #227	Expo Stucco
Columns	Nature	TBD
Garage Door	Black Russian	Dunn Edwards
Trim	Nature	TBD
Roof Eave Facia	Sorrel Felt #624	Dunn-Edwards
Windows & Doors	Chesnut Bronze	Jeld-Wen

- Facade and Roof Articulation: The material finish of the proposed home will be smooth stucco. Fixed windows of various shapes and sizes, variety in color scheme, decorative light fixtures, precast crown moulding trim, precast columns at the entry and adjacent to front elevation windows and various gabled rooflines add detail and architectural interest to the home. A side loading garage, patio cover, rear yard terrace, varied building setbacks and pitched rooflines improve articulation and provide architectural relief and visual interest.
- Unit Placement: The applicant has proposed to develop within the buildable area of the lot and will comply with the development code standards as shown in the table below:

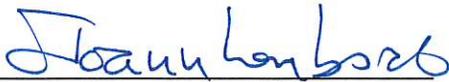
SETBACKS	PROPOSED	REQUIRED	MEETS REQUIREMENT?
Front yard	20'6"	19'6'	Yes
Side yard	23' 1" & 8'6"	5'-0" & 5'-0"	Yes
Rear yard	39'3"	20'-0"	Yes

- Compatibility: There are several different architectural styles and finishes used in the neighborhood, ranging from Spanish to Mediterranean. The proposed design features Contemporary Mediterranean architecture and incorporates features and elements exhibited on surrounding homes. Given that the lots in the area have been built with varying designs, no one architectural style dominates the neighborhood, and the proposed home incorporates elements present in existing homes, the proposed home is compatible with the surrounding neighborhood.

ENVIRONMENTAL ASSESSMENT

Staff has determined that the proposed project is exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15303(a) (New Construction or Conversion of Small Structures) of the CEQA Guidelines. The proposed project consists of the construction of one (1) single-family residence in a residential zone. Further, staff has determined with certainty that the project does not have the potential to cause a negative impact on the environment pursuant to CEQA Guidelines Section 15061(b)(3), the “common sense” exemption.

Respectfully submitted,



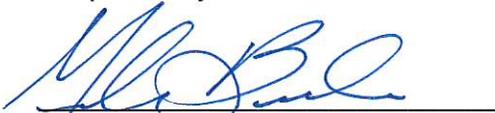
Joann Lombardo
Community Development Director

Recommended by:



Ryan Gackstetter
Senior Planner

Prepared by:



Melissa Beeler
Planning Technician II

Attachments: Resolution
 Exhibit “A” – Conditions of Approval
 Exhibit “B” – Project Plans, colored elevations
 Exhibit “C” – Colors/Materials Board
 Exhibit “D” – Site Photos
 Exhibit “E” – Surrounding Property Photos
 Exhibit “F” – HOA Approval Letter
 Affidavit of Mailing (Notification Letter & Mailing List)

RESOLUTION NO. PC 2017-_____

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF CHINO HILLS APPROVING CUSTOM HOME DESIGN REVIEW NO. 431 FOR THE CONSTRUCTION OF A 5,690 SQUARE FOOT, TWO-STORY, SINGLE-FAMILY DETACHED HOME WITH A 908-SQUARE FOOT, THREE CAR GARAGE LOCATED AT 2566 VIEWRIDGE DRIVE AND DETERMINING THAT THE PROJECT IS EXEMPT FROM REVIEW UNDER THE CALIFORNIA ENVIRONMENTAL QUALITY ACT

THE PLANNING COMMISSION OF THE CITY OF CHINO HILLS DOES HEREBY RESOLVE AS FOLLOWS:

SECTION 1. The Planning Commission does hereby make the following findings of fact:

- A. The applicant, SGS International, requested approval of Custom Home Design Review No. 431 for the development of a 5,690-square foot, two-story, single-family detached home with an attached 908-square foot, three-car garage located at 2566 Viewridge Drive.
- B. The site is located at 2566 Viewridge Drive and is legally described as Assessor's Parcel Number (APN) 1024-371-02 as shown in the latest records of the Office of the Tax Assessor of the County of San Bernardino.
- C. The property is zoned PD 25-137 and has a General Plan designation of Low Density Residential.
- D. The project is exempt from the requirements of the California Environmental Quality Act ("CEQA") Guidelines pursuant to Section 15303(a) (New Construction or Conversion of Small Structures) of the CEQA Guidelines. The proposed project consists of the construction of one (1) single-family residence in a residential zone. Further, staff has determined with certainty that the project does not have the potential to cause a negative impact on the environment pursuant to CEQA Guidelines Section 15061(b)(3), the "common sense" exemption.
- E. Pursuant to Section 16.06.130.B., this application is a design review processed pursuant to Section 16.10.050 and 16.20.090 of the Chino Hills Development Code.
- F. The Planning Commission of the City of Chino Hills held a duly noticed public meeting on February 7, 2017, to review and consider the staff report

prepared for the project, receive public testimony, and review all correspondence received on the project.

SECTION 2. With regard to the request for approval of Custom Home Design Review No. 431, based upon oral and written testimony and other evidence received at the public meeting held for the project, and upon studies and investigations made by the Planning Commission and on its behalf, pursuant to Section 16.10.050 of the Chino Hills Development Code, the Planning Commission does further find as follows:

- A. FINDING: The proposed single-family detached residential development is consistent with the General Plan.

FACT: The project site is identified as Low Density Residential on the General Plan Land Use Map and is zoned Planned Development PD 25-137. The proposed home is consistent with the standards of this district in that the proposed design and layout of the home maintains the proper setback requirements, is within the height limitations for residential construction, and does not exceed the allowable lot coverage. The construction of a new single-family residence is subject to the approval of a Custom Home Design Review, pursuant to Sections 16.10.050, 16.06.130 and 16.20.090 of the Development Code. If the Custom Home Design Review is approved, the proposed project would be consistent with the Development Code, a tool used to implement the General Plan. Approval of the proposed project furthers Goal H-1 and Goal H-2 of the General Plan by providing "a range of housing types while maintaining the City's overall low density character". In providing the applicant the opportunity to construct a new single-family residential dwelling unit in Chino Hills, the City furthers its goal of providing a range of housing types. Therefore, the approval of Custom Home Design Review No. 431, subject to the attached Conditions of Approval, would be consistent with the General Plan

- B. FINDING: The proposed design and layout of the single-family detached residential development is sufficiently varied to avoid monotony in the external appearance.

FACT: The proposed design and layout of the home and attached side loading garage is sufficiently varied to avoid monotony in the external appearance. The proposed design features elements of architecture such as pre-cast columns, crown moulding trim, breaks in the wall plane and features recessed windows of varying size and shape to provide visual interest. The home also features gable and hip rooflines at varying heights, which provides both vertical and horizontal articulation and visual interest.

- C. FINDING: The proposed design and layout of the single-family detached residential development is in harmony with the appearance of other

existing residences in the neighborhood, as well as those found throughout the community.

FACT: The proposed design and building materials of the custom home are consistent with the colors, materials, and designs of the existing homes within the project area and the proposed home provides 360° of architectural enhancements. The mass and scale of the proposed home is also compatible with other homes within the same area. The style and materials of the applicant's home contribute to the overall high quality of design in the neighborhood.

- D. FINDING: The plans for the single-family detached residential development have properly implemented the residential design guidelines set forth in the Development Code.

FACT: The proposed custom home complies with the Residential Design Guidelines set forth in the Development Code in that it maintains the proper setback requirements, is within the height limitations for residential construction, and does not exceed the allowable lot coverage. The proposed project also complies with the provisions of the Residential Design Guidelines addressing building massing and scale, enhanced architectural treatment, and varied structure design. In addition, the adjacent property owners were notified of the proposed project, staff did not receive any comments as of the writing of the staff report.

SECTION 3. With regard to the request for approval of Custom Home Design Review No. 431, based upon oral and written testimony and other evidence received at the public meeting held for the project, and upon studies and investigations made by the Planning Commission and on its behalf, the pursuant to Section 16.20.090.E of the Chino Hills Development Code, the Planning Commission does further find as follows:

- A. FINDING: The proposed design is compatible with the character and architecture of residences located within the same tract, and adjacent tracts of the PD in which the property which is the subject of the application is located.

FACT: The design of the proposed home is generally compatible with the architectural design of the other homes within the tract and neighborhood. The homes in the neighborhood feature a variety of architectural styles and treatments. The proposed home incorporates a covered front porch, window treatments, and other architectural elements that are featured on other homes in the neighborhood. The color, materials, and design of the proposed custom home are consistent with the colors, materials, and designs of the existing homes within the project area and the proposed home provides 360° of architectural enhancements. The style and materials of the applicant's home contribute to the overall high quality design in this tract and adjacent tracts within the Planned Development

neighborhood.

- B. **FINDING:** The size of the proposed unit is in proportion to the lot on which it is to be placed, and is compatible in relationship to other existing residential dwelling units (particularly units within a tract and adjacent tracts of the PD in which the property which is the subject of the application is located).

FACT: Pursuant to Development Code Section 16.20.090(F), the Community Development Director has determined that the proposed residential unit (a): does not vary by more than ten (10) percent from the smallest or largest unit previously approved or constructed within the PD, or an adjacent tract within the PD; and (b) the unit is located within a tract which has minimum lot sizes within twenty (20) percent of the minimum lot size of the tract which is being used for the comparison stated in (a), so the size of the unit shall not be considered by the Planning Commission with respect to the Planning Commission's decision on a design review application.

- C. **FINDING:** The proposed project does not adversely affect the number and mix of particular unit types or elevations within a residential tract of production homes.

FACT: The proposed architectural design of the custom single-family home is compatible with the surrounding neighborhood, given that the lots in the area have been built with varying architectural designs and no one architectural style dominates the neighborhood. The proposed design of the home consists of two levels which is compatible with the existing neighborhood of one, two story homes. The project is not located within a tract of production homes.

- D. **FINDING:** The types of materials to be used in the exterior construction of the unit are compatible with the materials used in the construction of other homes in the tract.

FACT: The proposed project will feature compatible materials such as smooth stucco, and tile roof that are featured on other homes within the tract. Therefore, the types of materials to be used in the exterior construction of the proposed home are compatible with the materials used in the construction of other homes in the tract.

- E. **FINDING:** The type of roofing material used is appropriate for the style of the house and compatible with other houses in the tract.

FACT: The proposed project will feature a tile roof that is appropriate for the proposed architectural style of the single-family residence and will be

compatible with the tile roofs featured on other homes within the tract.

- F. FINDING: The placement of the unit on the lot, including setback from front and side lot lines, complies with the applicable development standards.

FACT: The proposed structure complies with the applicable development standards in PD 25-137, including the setbacks governing the placement of the unit on the property.

SECTION 4. Based on the findings and conclusions set forth above, the Planning Commission hereby approves Custom Home Design Review No. 431 pursuant to Sections 16.10.050 and 16.20.090 of the Chino Hills Development Code, subject to the Conditions of Approval dated February 7, 2017, labeled as Exhibit "A", and incorporated into this resolution by this reference, and the Project Plans on file with the Planning Commission Secretary.

SECTION 5. The Planning Commission Secretary shall certify the adoption of this resolution.

ADOPTED AND APPROVED this 7th day of February 2017.

ADAM ELIASON
CHAIRMAN

ATTEST:

KAREN PULVERS
PLANNING COMMISSION SECRETARY

APPROVED AS TO FORM:

ELIZABETH M. CALCIANO
ASSISTANT CITY ATTORNEY

STATE OF CALIFORNIA)
COUNTY OF SAN BERNARDINO)
CITY OF CHINO HILLS) ss.

I, KAREN PULVERS, Planning Commission Secretary of the City of Chino Hills, do hereby certify that the foregoing Resolution No. PC 2017-__ was duly passed and adopted at a regular meeting of the Chino Hills Planning Commission held on the 7th day of February 2017, by the following roll call vote, to wit:

AYES: COMMISSION MEMBERS:

NOES: COMMISSION MEMBERS:

ABSENT: COMMISSION MEMBERS:

KAREN PULVERS
PLANNING COMMISSION SECRETARY



CITY OF CHINO HILLS
Conditions of Approval
Design Review No. 431
2566 Viewridge Drive

Community Development Department

1. The project construction shall be in substantial conformance with Exhibit "B" and "C" as approved by the Planning Commission. No modification to the Site Plan, Design Plan, or the Conditions of Approval for the Design Review shall be permitted without the approval of the Community Development Director or his/her designee.
2. Landscape improvements with new total project net landscape area (including water features and swimming pools) equal to or greater than 5,000 square feet, shall be subject to Chapter 16.07 Landscape and Water Conservation Guidelines of the City's Development Code.
3. Prior to the final planning inspection of the project, irrigation and landscaping shall be installed within the front yard.
4. Exterior materials, finishes, and colors shall be in substantial conformance with Exhibits "B" and "C" as approved by the Planning Commission for a period of one (1) year following the completion of project construction and the final City-required inspection.
5. Impervious surface coverage within the required front yard setback area shall not exceed fifty percent (50%), or as otherwise provided within Section 16.10.030 Table 20-1, note (h) of the Chino Hills Municipal Code.
6. A final inspection by the Planning Division will be required to ensure the proposed project is consistent with the approved plans.
7. This project has been determined to be exempt from the California Environmental Quality Act pursuant to Sections 15303(a) and 15061(b)(3), of the CEQA Guidelines; a Notice of Exemption will be mailed to the County Clerk of the Board upon approval by the Planning Commission. Within two (2) days of approval by the Planning Commission, the applicant shall submit to the Planning Division a check for the filing fee applicable to this notice in the amount of \$50.00, payable to the "Clerk of the Board".

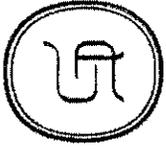
Chino Valley Independent Fire District

8. A minimum of two (2) sets of plans shall be submitted separately for each of the following listed items to the Fire District for review, approval and permit prior to any installation or work being done. Approved plans must be maintained at the worksite during construction. Fees are due at the time of submittal.
 - a. Building Construction – a current fire flow is required to be submitted with the plans. Submitted plans to the Fire District shall include a scaled site plan showing the closest fire hydrant.

- b. Fire Sprinkler Systems are required to be designed by a C16 contractor or registered engineer.
9. A residential "life safety" fire sprinkler system is required. The developer shall submit three (3) sets of detailed plans and hydraulic calculations to the Fire Prevention Division for approval. Minimum water supply shall be a one inch (1") meter. The system shall be installed, tested and approved prior to occupancy. The system shall meet the standards of NFPA 13R or 13D and Fire District Standard No. 126. Dwellings in excess of 5,000 square feet shall provide calculations of the four (4) most remote sprinkler heads.

END OF SEQUENTIAL CONDITIONS

Project Manager: Melissa Beeler



SGS INTERNATIONAL

112 North Bond Street
 Phoenix, AZ 85004
 Phone: 602.955.2400
 Fax: 602.955.2077

THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF SGS INTERNATIONAL. THEY ARE TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. ANY REUSE OR REPRODUCTION OF THESE PLANS OR SPECIFICATIONS WITHOUT THE WRITTEN PERMISSION OF SGS INTERNATIONAL IS STRICTLY PROHIBITED. THE USER ASSUMES ALL LIABILITY FOR THE ACCURACY AND COMPLETENESS OF THESE PLANS AND SPECIFICATIONS.

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMITS	12/08/16
2	ISSUED FOR PERMITS	12/08/16
3	ISSUED FOR PERMITS	12/08/16
4	ISSUED FOR PERMITS	12/08/16
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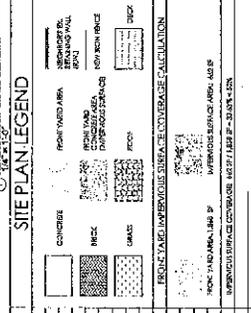
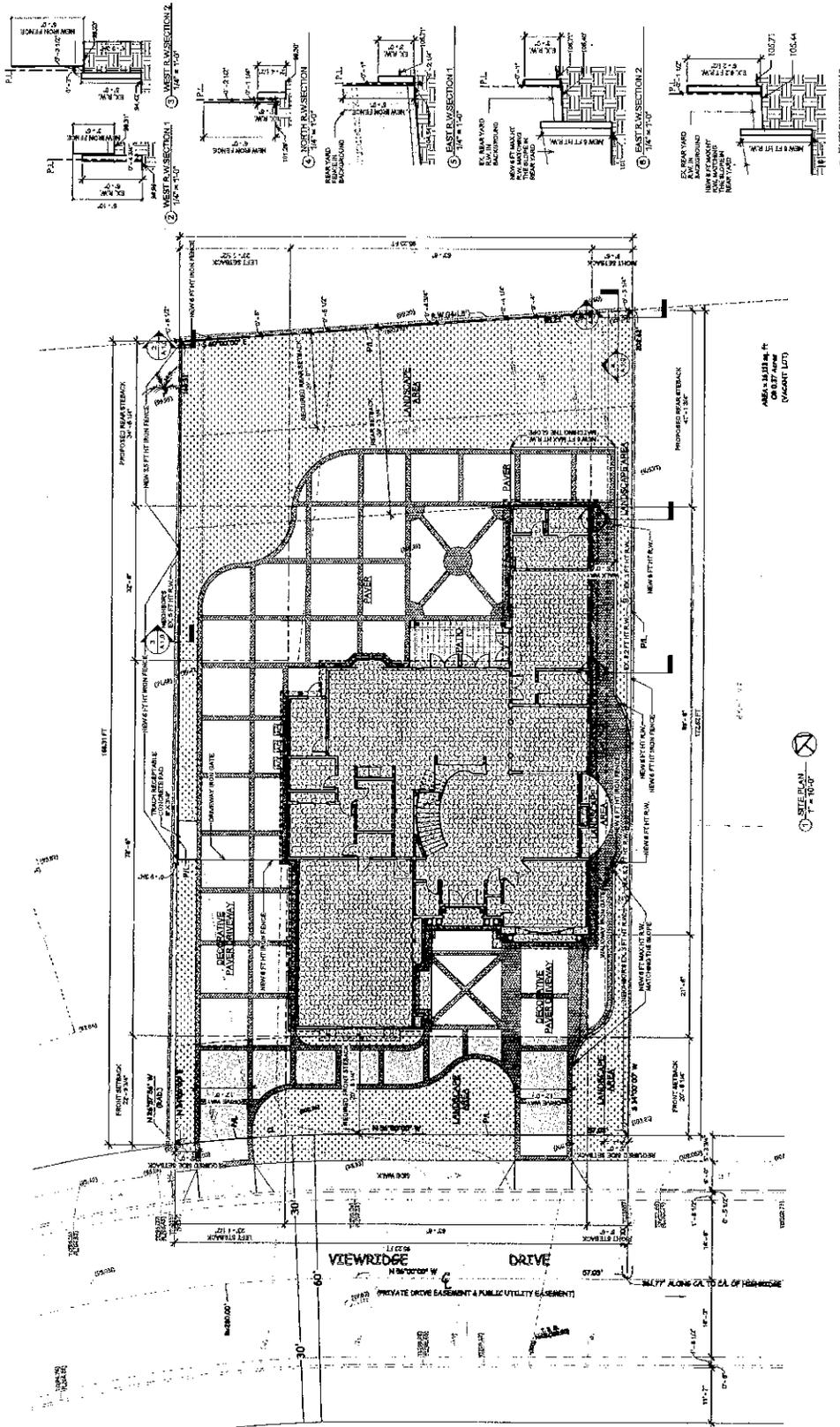
S.F.R.

2566 West McDowell Rd., Suite 100
 Phoenix, AZ 85029

SITE PLAN

As Indicated

A 1.0



PROJECT DESCRIPTION

PROJECT NAME	2566 WEST McDOWELL ROAD
PROJECT ADDRESS	2566 WEST McDOWELL ROAD, PHOENIX, AZ 85029
OWNER	2566 WEST McDOWELL ROAD, PHOENIX, AZ 85029
DESIGNER	SGS INTERNATIONAL
DATE	12/08/16
SCALE	AS SHOWN
PROJECT NO.	16-000000
PROJECT LOCATION	2566 WEST McDOWELL ROAD, PHOENIX, AZ 85029
PROJECT DESCRIPTION	RETIRED
PROJECT STATUS	ISSUED FOR PERMITS
PROJECT CONTACT	2566 WEST McDOWELL ROAD, PHOENIX, AZ 85029
PROJECT PHONE	602.955.2400
PROJECT FAX	602.955.2077
PROJECT EMAIL	2566@sgsintl.com
PROJECT WEBSITE	WWW.SGSINTL.COM

PERMITS AND REGULATIONS

PERMITS	ISSUED FOR PERMITS
REGULATIONS	ISSUED FOR PERMITS
APPROVALS	ISSUED FOR PERMITS
COMMENTS	ISSUED FOR PERMITS

PROJECT DESCRIPTION

PERMITS	ISSUED FOR PERMITS
REGULATIONS	ISSUED FOR PERMITS
APPROVALS	ISSUED FOR PERMITS
COMMENTS	ISSUED FOR PERMITS

PERMITS AND REGULATIONS

PERMITS	ISSUED FOR PERMITS
REGULATIONS	ISSUED FOR PERMITS
APPROVALS	ISSUED FOR PERMITS
COMMENTS	ISSUED FOR PERMITS

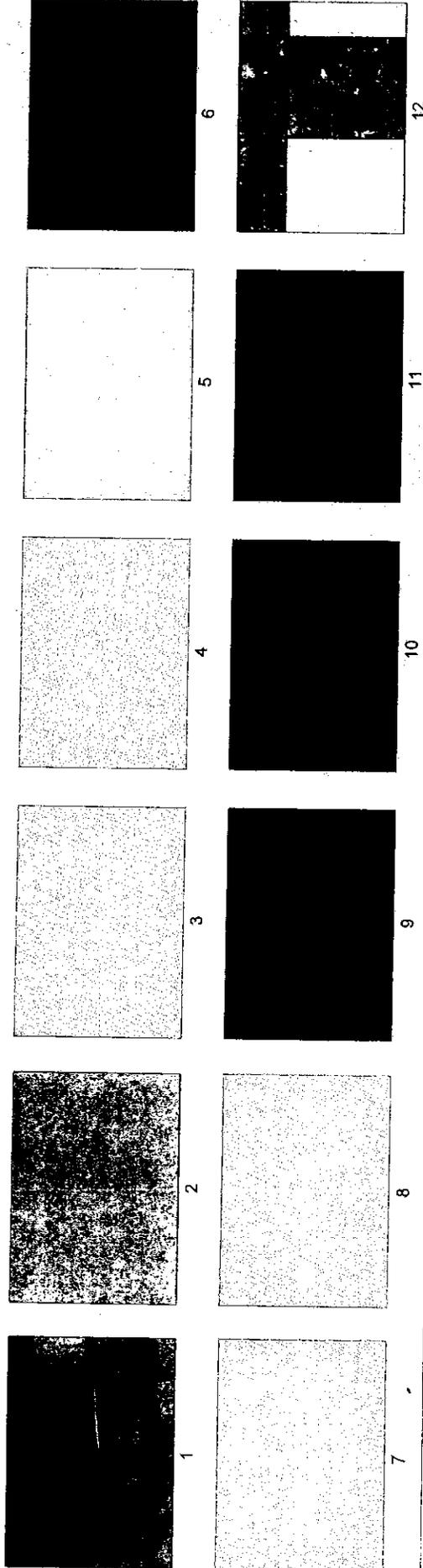


Exhibit 'B'

EXTERIOR FINISH SCHEDULE

#	MATERIAL	FINISH/STYLE	COLOR	MANUFACTURER
1	LIGHT CONCRETE SHINGLE ROOF TILES	RELAK	VILAGE BLEND #47	EAGLE ROOFING
2	ROOF EAVE FASCIA BOARDS	PAINT	SORREL FELT DET624	DUNNEDWARDS
3	CROWN MULLING	PRECAST TRIM	NATURE	TBD
4	SMOOTH STUCCO	SAND FLOAT	NAVALO WHITE #22	EXPO STUCCO
5	CONCRETE	CONCRETE	LIGHT GREY	TBD
6	WINDOWS & DOORS	BULBERS VINYL	CHESSNUT BRONZE	JELD-WEN
7	COLUMN	PRECAST	NATURE	TBD
8	TRIM	PRECAST TRIM	NATURE	TBD
9	GARAGE DOOR	PAINT	BLACK RUSSIAN #831	DUNNEDWARDS
10	WALL SCIENCE	1-LIGHT WALL MOUNT	BLACK	TBD
11	RAILING	VIRLIGHT IRON	BLACK	TBD
12	PAVEMENT	BRICK / CONCRETE	BROWN RED	TBD

① STREET ELEVATION
1/8" = 1'-0"





SGS
INTERNATIONAL
10000 WILSON AVENUE
DALLAS, TEXAS 75243
TEL: 972.242.2000
WWW.SGS.COM

S.F.R.
2566 Viewridge Dr. Chino Hills, CA 91709

Project number: 2015_A_11
Date: 11/16/2016
Drawn by: TL
Checked by: SC
Scale: 1/8" = 1'

MATERIAL BOARD

Exhibit "C"

**SGS INTERNATIONAL
CUSTOM HOME DESIGN REVIEW NO. 431
2566 VIEWRIDGE DRIVE
PHOTO OF PROJECT SITE**

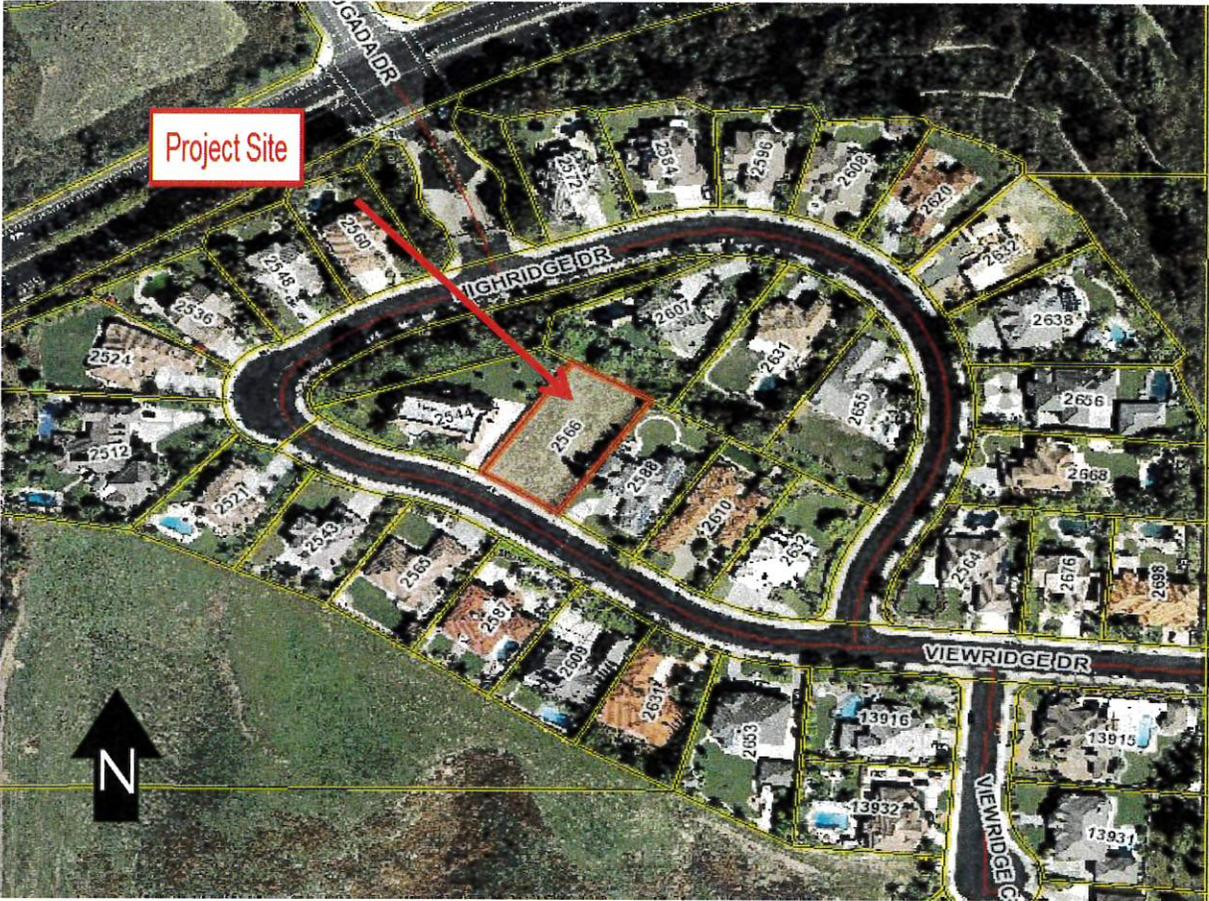


Exhibit "D"

**SGS INTERNATIONAL
CUSTOM HOME DESIGN REVIEW NO. 431
2566 VIEWRIDGE DRIVE
PHOTO OF PROJECT SITE**



Exhibit "D"

**SGS INTERNATIONAL
CUSTOM HOME DESIGN REVIEW NO. 431
2566 VIEWRIDGE DRIVE
SURROUNDING PROPERTY PHOTOS**



2544 Viewridge Drive

Exhibit "E"

**SGS INTERNATIONAL
CUSTOM HOME DESIGN REVIEW NO. 431
2566 VIEWRIDGE DRIVE
SURROUNDING PROPERTY PHOTOS**



2588 Viewridge Drive

Exhibit "E"

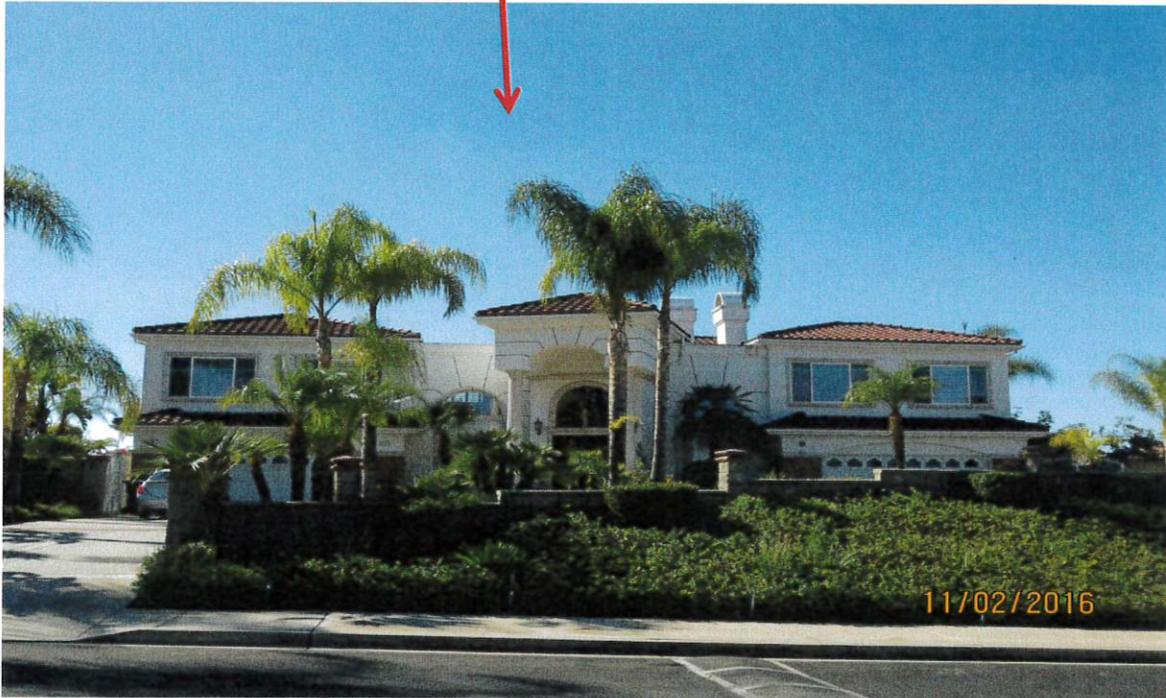
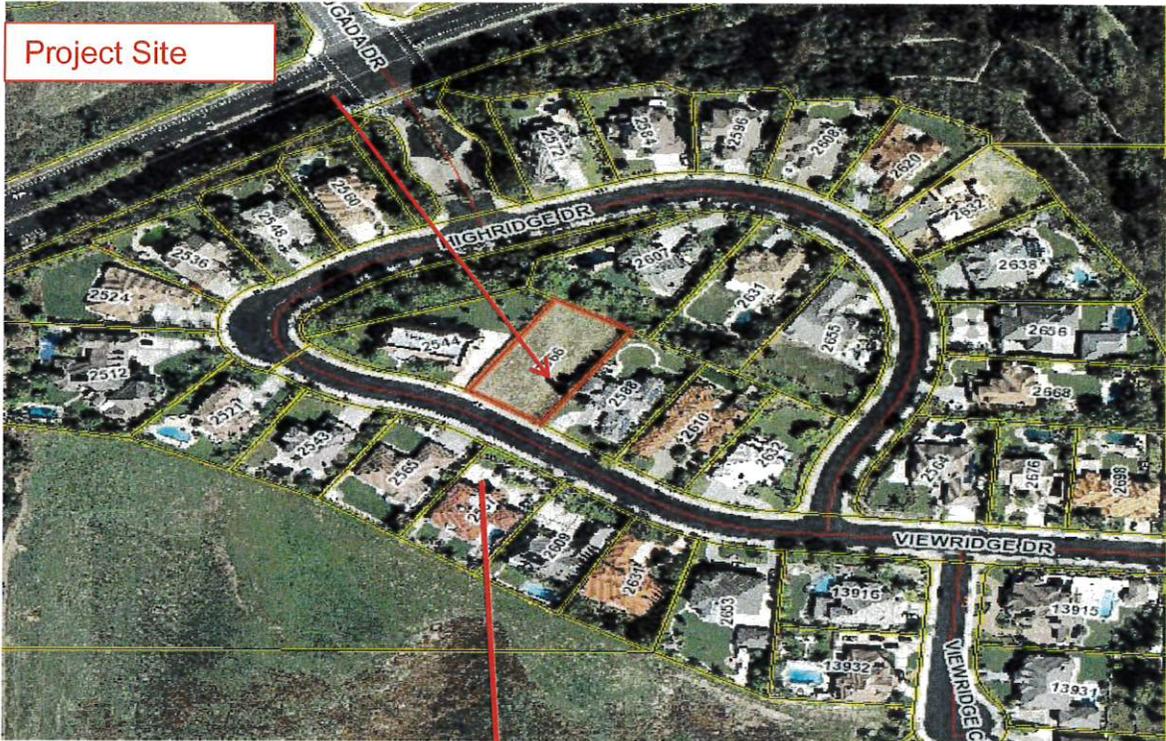
**SGS INTERNATIONAL
CUSTOM HOME DESIGN REVIEW NO. 431
2566 VIEWRIDGE DRIVE
SURROUNDING PROPERTY PHOTOS**



2565 Viewridge Drive

Exhibit "E"

**SGS INTERNATIONAL
CUSTOM HOME DESIGN REVIEW NO. 431
2566 VIEWRIDGE DRIVE
SURROUNDING PROPERTY PHOTOS**



2587 Viewridge Drive

Exhibit "E"

**SGS INTERNATIONAL
CUSTOM HOME DESIGN REVIEW NO. 431
2566 VIEWRIDGE DRIVE
SURROUNDING PROPERTY PHOTOS**



2607 Viewridge Drive

Exhibit "E"

**SGS INTERNATIONAL
CUSTOM HOME DESIGN REVIEW NO. 431
HOA APPROVAL LETTER**



May 20, 2016

Phoebe Chang
2449 Valley View Drive,
Chino Hills, CA 91709

Re: Architectural Review

Subject: Approval for New Construction at 2566 Viewridge Drive, Chino Hills, Ca 91709

Dear Phoebe Chang:

The Board of Directors reviewed your submittal for New Construction on your lot. The Board has approved your architectural application as submitted. The Board requests that a green mesh be installed during the project.

In addition please obtain all necessary permits for the construction.

Please feel free to contact me if you have any questions at (909) 981-4131.

Thank you,

A handwritten signature in black ink, appearing to read "Diana Ortiz", written over a horizontal line.

Diana Ortiz
Community Manager
GRAND POINTE HOMEOWNERS ASSOCIATION

186 N Euclid Ave | Upland, CA 91786-6066
Tel: 909.981.4131
www.foresidential.com

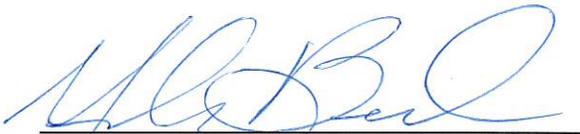
AFFIDAVIT OF MAILING

STATE OF CALIFORNIA)
COUNTY OF SAN BERNARDINO) **ss.**
CITY OF CHINO HILLS)

I, Melissa Beeler, do hereby certify before the Planning Commission of the City of Chino Hills that a copy of the Public Meeting Notice for Custom Home Design Review No. 431 was mailed to each and every person set forth on the attached list on the 24th of January 2017. A copy of said Notice is attached hereto. Mailing of this document was completed by placing a copy of said document in an envelope, with postage prepaid, and depositing same in the U.S. Mail at Chino Hills, California.

I declare under penalty of perjury that the foregoing is true and correct.

Dated at Chino Hills, California, this 24th of January 2017.



Melissa Beeler, Planning Technician II

8 1024-371-01-0000
XIANGHONG TANG
2544 VIEWRIDGE DR
CHINO HILLS CA 91709

16 1024-371-19-0000
CC NEEDS & TREATMENT TRUST 5/8/07
15158 ILEX DR
CHINO HILLS CA 91709

15 1024-371-18-0000
MOGHADAM FRANK & NUNEZ LUZ RV
TR
2597 VIEW RIDGE DR
CHINO HILLS CA 91709

10 1024-371-03-0000
DAVID L KUO
2588 VIEWRIDGE DR
CHINO HILLS CA 91709

25 1024-371-32-0000
W&G CH PROPERTIES LLC
2607 HIGHRIDGE DR
CHINO HILLS CA 91709

9 1024-371-02-0000
PHOEBE CHANG
2449 VALLEY VIEW DR
CHINO HILLS CA 91709

PUBLIC MEETING NOTICE

NOTICE IS HEREBY GIVEN that the Planning Commission of the City of Chino Hills will hold a public meeting on Tuesday, February 7, 2017, at 7:00 p.m., in the Council Chambers of the City Hall, 14000 City Center Drive, Chino Hills, CA, to consider the following project.

CASE NO.: Custom Home Design Review No. 431

APPLICANT/ OWNER: SGS International
Chang & Maung Residence
112 North Earle Street
San Gabriel, CA 91775

PROPOSAL: A request from SGS International for the approval of Custom Home Design Review No. 431 for the construction of a new 5,690 square foot, two-story home with an attached 908 square foot, three-car garage.

LOCATION: 2566 Viewridge Drive

A.P.N.: 1024-371-02



VICINITY MAP

ENVIRONMENTAL REVIEW: A determination has been made that the proposed project is exempt from the provisions of the California Environmental Quality Act (CEQA) pursuant to Section 15303(a) (New Construction or Conversion of Small Structures) of said Act. The project consists of the construction of one (1) new single-family residence in a residential zoning district. Further, staff has determined with certainty that the project does not have the potential to cause a negative impact on the environment pursuant to CEQA Guidelines Section 15061(b)(3), the "common sense" exemption. The project development plans and all other documents referenced herein are available for public review at the City of Chino Hills Community Development Department at 14000 City Center Drive, Chino Hills, during the following hours: Monday through Thursday from 7:30 a.m. to 5:00 p.m. and Friday from 7:30 a.m. to 4:00 p.m.

STAFF: Joann Lombardo, Community Development Director
Melissa Beeler, Planning Technician II

NOTICE IS HEREBY FURTHER GIVEN that if you challenge the above described project in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence delivered to the City at, or prior to, the public hearing.

ALL PERSONS INTERESTED are invited to be present at the public hearing. The proposed project application may be viewed Monday through Thursday, from 7:30 a.m. to 5:00 p.m. and Friday from 7:30 a.m. to 4:00 p.m. in the Community Development Department, City Hall, 14000 City Center Drive, Chino Hills, California. Additional information regarding this project may be obtained from Melissa Beeler, Planning Technician II with the Community Development Department at (909) 364-2744 or mbeeler@chinohills.org.


Signature: Melissa Beeler, Planning Technician II



PLANNING COMMISSION AGENDA STAFF REPORT

Meeting Date: February 7, 2017

Public Hearing:
Discussion Item:
Consent Item:

January 31, 2017

Agenda Item No.: 5c

TO: CHAIRMAN AND PLANNING COMMISSIONERS

FROM: JOANN LOMBARDO, COMMUNITY DEVELOPMENT DIRECTOR

SUBJECT: CUSTOM HOME DESIGN REVIEW NO. 435 – 3417 WHIRLAWAY LANE

EXECUTIVE SUMMARY

The owner, Jivan Yakoo, is requesting approval of Custom Home Design Review No. 435 for the addition of 1,135 square feet to an existing 2,013-square foot single-story single family home located at 3417 Whirlaway Lane (Exhibit "B").

Pursuant to Section 16.06.130 of the Chino Hills Development Code, and per Section 16.10.050 of the Residential Development Standards and Design Guidelines, a Design Review approval is required for the construction of any structural additions that are equal to fifty percent (50%) or more of the floor area of the existing on-site buildings. The existing single-story home consists of 1,558 square feet of livable space and an attached 455-square foot, two-car garage, totaling 2,013 square feet. The proposed addition consists of 1,135 square feet of livable space. After the addition, the total gross square footage of the remodeled home will be 3,148 square feet including two garage spaces (Exhibit "B").

RECOMMENDATION

Staff recommends that the Planning Commission adopt the attached resolution finding that the project is exempt from review under the California Environmental Quality Act and approving Custom Home Design Review No. 435 based on the findings of facts as listed in the attached resolution and subject to the Conditions of Approval (Exhibit "A").

PROJECT

CASE NO.: Custom Home Design Review No. 435

APPLICANT/
OWNER:

Jivan Yakoo
3417 Whirlaway Lane
Chino Hills, CA 91709

LOCATION: 3417 Whirlaway Lane
Assessor's Parcel Number 1025-661-11

H.O.A.: Not Applicable

floor addition, measuring 605 square feet of livable space, will include the addition of a two bedrooms and a bathroom. The existing third bedroom will be converted to a bathroom and walk in closet for the second bedroom. The existing dining room will be removed to expand the existing kitchen. The second floor addition, measuring 530 square feet of livable space, will include two bedrooms and a bathroom. After the addition, total living area of the home will be 2,693 square feet with an existing attached 455-square foot two-car garage, totaling 3,148 square feet. (Exhibit "B").

DEVELOPMENT STANDARDS

In accordance with Section 16.10.050 of the Development Code, the applicant has addressed the following design elements:

- General Plan and Zoning Consistency:** The project site is identified as Low Density Residential on the General Plan Land Use Map and is zoned Low Density Residential (R-S). The proposed addition is consistent with the standards of this district in that the proposed design and layout of the home maintains the proper setback requirements, is within the height limitations for residential construction, and does not exceed the allowable lot coverage. The addition of fifty-percent (50%) or more of floor area of existing on site buildings to an existing single-family residence is subject to the approval of a Custom Home Design Review, pursuant to Section 16.10.050 of the Development Code. If the Custom Home Design Review is approved, the proposed project would be consistent with the Development Code, a tool used to implement the General Plan. Approval of the proposed project furthers Goal H-2 of the General Plan "Maintain and Enhance the Quality of Existing Residential Neighborhoods". In providing the applicant the opportunity of an addition to an existing single-family home in Chino Hills, the City furthers its goal by maintaining and enhancing the quality of existing residential neighborhoods. Therefore, the approval of Custom Home Design Review No. 435, subject to the attached Conditions of Approval, would be consistent with the General Plan.
- Building Size & Mass:** The proposed addition will reach a maximum height of 20 feet 4 inches which complies with the 35-foot maximum building height development standard for the Low Density Residential (R-S) zone.

The existing and proposed livable area improvements on the site are detailed below:

Existing First Floor Area	1,558 sq. ft.
Proposed First Floor Addition/Remodel	605 sq. ft.
Proposed Second Floor Addition	530 sq. ft.
Total Livable Floor Area:	2,693 sq. ft.
<u>Total Building Footprint</u>	
Proposed Building Footprint (Livable Area)	2,163 sq. ft.
Existing Two-Car Garage	455 sq. ft.
Existing Front Porch	220 sq. ft.
Total Structure Coverage:	2,838 sq. ft.

The Low Density Residential (R-S) zone specifies maximum lot coverage by structures of forty (40) percent. Flag lots, as defined in Section 16.02.240, are exempt from the maximum coverage in front yard setback by impervious surfaces standard. As shown in the following table, the proposal meets the standards for lot coverage by structures and by impervious surfaces.

PROJECT INFORMATION	PROPOSAL	MAXIMUM ALLOWED	MEETS REQUIREMENT?
Property Size (sq. ft.)	13,939	--	--
Building Footprint (sq. ft.)	2,838	5,575	Yes
Percent Coverage by Structure	20%	40%	Yes

- **Building Materials:** The applicant has incorporated color/materials legend within the plans and colored elevations illustrating the exterior materials and colors for the proposed home (Exhibits "B" and "C").

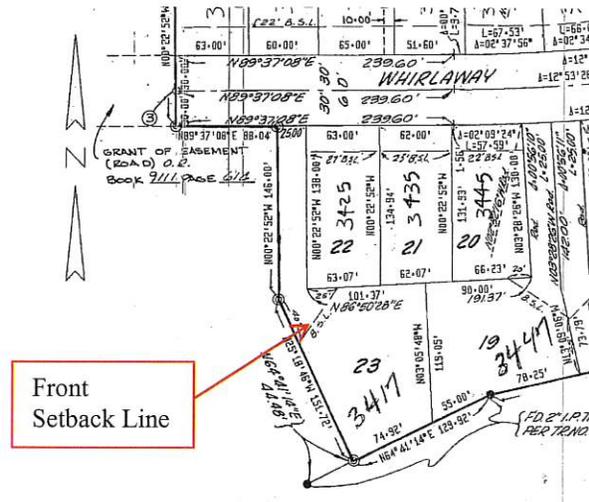
MATERIAL	COLOR	MANUFACTURER
Roof Shingles	Brown, ICC ESR-3267	GAF Timberline Shingles
Stucco	Newbury CLC 1228W	Dunn Edwards
Wood Window Trim	Newbury CLC 1228W	Dunn Edwards
Eaves	White	Dunn Edwards

The proposed design and building materials of the addition are in harmony with the appearance of the existing home as well as other existing residences in the neighborhood, as well as those found throughout the community. The color, materials, and design of the proposed addition is consistent with the colors, materials, and designs of the existing home as well as the existing homes within the project area and the proposed home provides 360° of architectural enhancements. The mass and scale of the proposed home is also compatible with other homes within the same area. The style and materials of the project contribute to the overall high quality design in the neighborhood.

- **Facade and Roof Articulation:** The proposed design and layout of the home and attached garages is sufficiently varied to avoid monotony in the external appearance and provides a strong single-story element. The addition and the existing home features multiple vertical wall plans set back at varying distances to provide architectural relief. The material finish of the proposed addition will feature stucco to match the existing home. The new rooflines for the addition are designed to feature the roof pitch theme to be consistent with the existing front façade roofline. Varied window sizes and shape provide visual interest and varied building setbacks and varying roof heights provide both horizontal and vertical articulation (Exhibit "B").
- **Unit Placement:** The applicant has proposed to develop within the buildable area of the flag lot and will comply with the setback and building separation standards of the zoning district as shown in the following table:

SETBACKS	PROPOSED	REQUIRED	MEETS REQUIREMENT?
Front Yard (Flag Lot)	Approx. 186' (Existing)	*See Diagram Below	Yes
Interior Side Yard	7'-0" & 32'-8"	5'-0' & 10'-0"	Yes
Rear Yard	54'-0"	15'-0"	Yes

*Front setback is approximately 186 feet from the front property line along the west property line, and approximately 163 feet from the front property line on the easterly property line.



- Compatibility:** The design of the proposed home is generally compatible with the architectural design of the other homes within the tract and neighborhood. Given that the lots in the area have been built with varying designs, no one architectural style dominates the neighborhood, and the proposed home incorporates elements present in existing homes, therefore proposed home is compatible with the surrounding neighborhood. The proposed home includes window treatments, and other architectural elements that are featured on other homes in the neighborhood. Additionally, the colors and materials of the proposed home are compatible with those of the other homes within the neighborhood (Exhibits “B”, “C” and “D”).
- Protected Tree Removal:** The project site is a privately owned developed lot and is not located in the Fire Hazard Overlay District; therefore, the proposed project is exempt from the provisions of Chapter 16.90 Tree Preservation. The project does not propose to remove any trees for the addition to the single family home.

PUBLIC COMMENTS

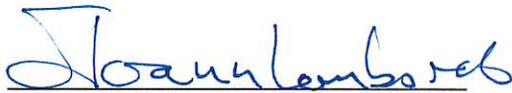
Courtesy notices regarding this project were mailed to the adjacent property owners surrounding the project site on January 26, 2017. Staff has received no public comments as of the writing of this report.

ENVIRONMENTAL ASSESSMENT

Staff has determined that the proposed project is exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15301(e) Existing Facilities of

the CEQA Guidelines because the project consists of an addition of less than 10,000 square feet to an existing single-family residence where all public services and facilities are available to serve the project and the project is not located within an environmentally sensitive area. The proposed project is also categorically exempt from CEQA pursuant to Section 15303(a) New Construction or Conversion of Small Structures of the CEQA Guidelines because the project consists of the construction of an addition to only one single-family structure in a residential zoning district. Further, staff has determined with certainty that the project does not have the potential to cause a negative impact on the environment pursuant to CEQA Guidelines Section 15061(b)(3), the “common sense” exemption.

Respectfully submitted,



Joann Lombardo
Community Development Director

Recommended by:



Ryan Gackstetter
Senior Planner

Prepared by:



Michael Hofflinger
Associate Planner

Attachments:

1. Resolution
2. Exhibit “A” – Conditions of Approval
3. Exhibit “B” – Project Plans, Color Elevations
4. Exhibit “C” – Materials
5. Exhibit “D” – Project Site Photos
6. Exhibit “E” – Surrounding Property Photos
7. Affidavit of Mailing (Notification Letter & Mailing List)

RESOLUTION NO. PC 2017 – _____

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF CHINO HILLS APPROVING CUSTOM HOME DESIGN REVIEW NO. 435 FOR THE CONSTRUCTION OF A 1,135-SQUARE FOOT, TWO-STORY ADDITION/REMODEL TO AN EXISTING 2,013 SQUARE-FOOT ONE-STORY, SINGLE-FAMILY DETACHED HOME WITH AN ATTACHED TWO-CAR GARAGE LOCATED AT 3417 WHIRLAWAY LANE AND DETERMINING THAT THE PROJECT IS EXEMPT FROM REVIEW UNDER THE CALIFORNIA ENVIRONMENTAL QUALITY ACT

THE PLANNING COMMISSION OF THE CITY OF CHINO HILLS DOES HEREBY RESOLVE AS FOLLOWS:

SECTION 1. The Planning Commission does hereby make the following findings of fact:

- A. The applicant, Jivan Yakoo requested approval of Custom Home Design Review No. 435 for the addition/remodel of 1,135 square feet to an existing 2,013-square foot, one-story, single-family detached home with an attached two-car garage located at 3417 Whirlaway Lane.
- B. The site is located at 3417 Whirlaway Lane and is legally described as Lot 23 of Tract No. 9070. The Assessor's Parcel Number (APN) for the property is 1025-661-11 as shown in the latest records of the Office of the Tax Assessor of the County of San Bernardino.
- C. The property is zoned Low Density Residential (R-S) and has a General Plan designation of Low Density Residential.
- D. The project is exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15301(e) Existing Facilities of the CEQA Guidelines because the project consists of an addition of less than 10,000 square feet to an existing single-family residence where all public services and facilities are available to serve the project and the project is not located within an environmentally sensitive area. The proposed project is also categorically exempt from CEQA pursuant to Section 15303(a) New Construction or Conversion of Small Structures of the CEQA Guidelines because the project consists of the construction of an addition to only one single-family structure in a residential zoning district. Further, staff has determined with certainty that the project does not have the potential to cause a negative impact on the environment pursuant to CEQA Guidelines Section 15061(b)(3), the "common sense" exemption.

- E. Pursuant to Section 16.06.130.B., this application is a design review processed concurrently pursuant to Section 16.10.050 of the Chino Hills Development Code.
- F. The Planning Commission of the City of Chino Hills held a duly noticed public meeting on February 7, 2017, to review and consider the staff report prepared for the project, receive public testimony, and review all correspondence received on the project.

SECTION 2. With regard to the request for approval of Custom Home Design Review No. 435, based upon oral and written testimony and other evidence received at the public meeting held for the project, and upon studies and investigations made by the Planning Commission and on its behalf, pursuant to Section 16.10.050 of the Chino Hills Development Code, the Planning Commission does further find as follows:

- A. **FINDING:** The proposed single-family detached residential development is consistent with the General Plan.

FACT: The project site is identified as Low Density Residential on the General Plan Land Use Map and is zoned Low Density Residential (R-S). The proposed addition is consistent with the standards of this district in that the proposed design and layout of the home maintains the proper setback requirements, is within the height limitations for residential construction, and does not exceed the allowable lot coverage. The addition of fifty-percent (50%) or more of floor area of existing on site buildings to an existing single-family residence is subject to the approval of a Custom Home Design Review, pursuant to Section 16.10.050 of the Development Code. If the Custom Home Design Review is approved, the proposed project would be consistent with the Development Code, a tool used to implement the General Plan. Approval of the proposed project furthers Goal H-2 of the General Plan "Maintain and Enhance the Quality of Existing Residential Neighborhoods". In providing the applicant the opportunity of an addition to an existing single-family home in Chino Hills, the City furthers its goal by maintaining and enhancing the quality of existing residential neighborhoods. Therefore, the approval of Custom Home Design Review No. 435, subject to the attached Conditions of Approval, would be consistent with the General Plan.

- B. **FINDING:** The proposed design and layout of the single-family detached residential development is sufficiently varied to avoid monotony in the external appearance.

FACT: The proposed design and layout of the home and attached garages is sufficiently varied to avoid monotony in the external appearance and provides a strong single-story element. The addition and the existing home features multiple vertical wall plans set back at varying

distances to provide architectural relief. The material finish of the proposed addition will feature stucco to match the existing home. The new rooflines for the addition are designed to feature the roof pitch theme to be consistent with the existing front façade roofline. Varied window sizes and shape provide visual interest and varied building setbacks and varying roof heights provide both horizontal and vertical articulation.

- C. **FINDING:** The proposed design and layout of the single-family detached residential development is in harmony with the appearance of other existing residences in the neighborhood, as well as those found throughout the community.

FACT: The proposed design and building materials of the addition are in harmony with the appearance of the existing home as well as the other existing residences in the neighborhood. The color, materials, and design of the proposed custom home are consistent with the colors, materials, and designs of the existing homes within the project area and the proposed home provides 360° of architectural enhancements. The mass and scale of the proposed home is also compatible with other homes within the same area. The style and materials of the applicant's home contribute to the overall high quality design in the neighborhood.

- D. **FINDING:** The plans for the single-family detached residential development have properly implemented the residential design guidelines set forth in the Development Code.

FACT: The proposed custom home complies with the Residential Design Guidelines set forth in the Development Code because it maintains the proper setback requirements, is within the height limitations for residential construction, and does not exceed the allowable lot coverage. The proposed project also complies with the provisions of the Residential Design Guidelines addressing building massing and scale, enhanced architectural treatment, and varied structure design. In addition, the adjacent property owners were notified of the proposed project, staff did not receive any comments as of the writing of the staff report.

SECTION 3. Based on the findings and conclusions set forth above, the Planning Commission hereby approves Custom Home Design Review No. 435 pursuant to Section 16.10.050 of the Chino Hills Development Code, subject to the Conditions of Approval dated February 7, 2017, and labeled as Exhibit "A" incorporated into this resolution by reference, and the Project Plans on file with the Planning Commission Secretary.

SECTION 4. The Planning Commission Secretary shall certify the adoption of this resolution.

ADOPTED AND APPROVED this 7th day of February 2017.

ADAM ELIASON
CHAIRMAN

ATTEST:

KAREN PULVERS
PLANNING COMMISSION SECRETARY

APPROVED AS TO FORM:

ELIZABETH M. CALCIANO
ASSISTANT CITY ATTORNEY

STATE OF CALIFORNIA)
COUNTY OF SAN BERNARDINO)
CITY OF CHINO HILLS) ss.

I, KAREN PULVERS, Planning Commission Secretary of the City of Chino Hills, do hereby certify that the foregoing Resolution No. PC 2017-__ was duly passed and adopted at a regular meeting of the Chino Hills Planning Commission held on the 7th day of February 2017, by the following roll call vote, to wit:

AYES: COMMISSION MEMBERS:

NOES: COMMISSION MEMBERS:

ABSENT: COMMISSION MEMBERS:

KAREN PULVERS
PLANNING COMMISSION SECRETARY



CITY OF CHINO HILLS
Conditions of Approval
Design Review No. 435
3417 Whirlaway Lane

Community Development Department

1. The project construction shall be in substantial conformance with Exhibit "B" as approved by the Planning Commission. No modification to the Site Plan, Design Plan, or the Conditions of Approval for the Design Review shall be permitted without the approval of the Community Development Director or his/her designee.
2. All proposed exterior materials and colors for the addition shall match the existing home.
3. Exterior materials, finishes, and colors shall be in substantial conformance with Exhibit "B" as approved by the Planning Commission for a period of one (1) year following the completion of project construction and the final City-required inspection.
4. A final inspection by the Planning Division will be required to ensure the proposed addition is consistent with the approved plans.
5. This project has been determined to be exempt from the California Environmental Quality Act pursuant to Sections 15301(e), 15303(a) and 15061(b)(3), of the CEQA Guidelines; a Notice of Exemption will be mailed to the County Clerk of the Board upon approval by the Planning Commission. Within two (2) days of approval by the Planning Commission, the applicant shall submit to the Planning Division a check for the filing fee applicable to this notice in the amount of \$50.00, payable to the "Clerk of the Board".

Chino Valley Independent Fire District

6. A minimum of two (2) sets of plans shall be submitted separately for each of the following listed items to the Fire District for review, approval and permit prior to any installation or work being done. Approved plans must be maintained at the worksite during construction. Fees are due at the time of submittal.
 - a. Building Construction – a current fire flow is required to be submitted with the plans. Submitted plans to the Fire District shall include a scaled site plan showing the closest fire hydrant.
 - b. Fire Sprinkler Systems are required to be designed by a C16 contractor or registered engineer.
7. Smoke detectors are required to be installed per Section 310 of the California Building Code, current adoption edition. Locations shall be approved by the Fire Prevention Division.
8. Residential street addresses shall be posted with a minimum of four inch (4") numbers, shall be electrically illuminated (by 12-volt power source) by

internal means during the hours of darkness. Posted numbers shall contrast with background used and be legible from the street in accordance with California Fire Code, current adopted edition. Where building is set back more than 100 feet from the roadway, additional non-illuminated four inch (4") numbers shall be displayed at the property access entrance. These numbers shall also contrast with the background used. Please refer to Fire District Standard No. 122.

END OF SEQUENTIAL CONDITIONS

Project Manager: Michael Hofflinger

SITE DATA

SITE ADDRESS: 3417 WHIRLAWAY LANE
CHINO HILLS, CA 91709

SCOPE OF WORK:

- 1- NEW TWO STORES ADDITION (1,135 SQ.FT.),
- 3- BEDROOMS, 3- BATHS TO EXISTING SINGLE FAMILY RESIDENCE (1,558 SQ.FT.),
- 2- REMODEL INSIDE THE HOUSE, INCLUDE: KITCHEN REMODEL, NOOK REMOVED, BEDROOM #3 HAS BEEN CONVERTED TO HALLWAY AND BATH, NEW WALK-IN CLOSE AT BEDROOM #2.

OWNER: JIVAN YAKOO
JAN YAKOO
(909) 631-5290

3417 WHIRLAWAY LANE
CHINO HILLS, CA 91709

TYPE OF CONSTRUCTION: V-N

LOT AREA: 0.32 ACRE

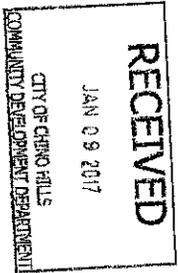
EXISTING LIVING AREA: 1,558 SQ.FT.

PROPOSED AREA: 1,135 SQ.FT.

A.P.N.#: 102-566-11-10

LEGAL DESCRIPTION:

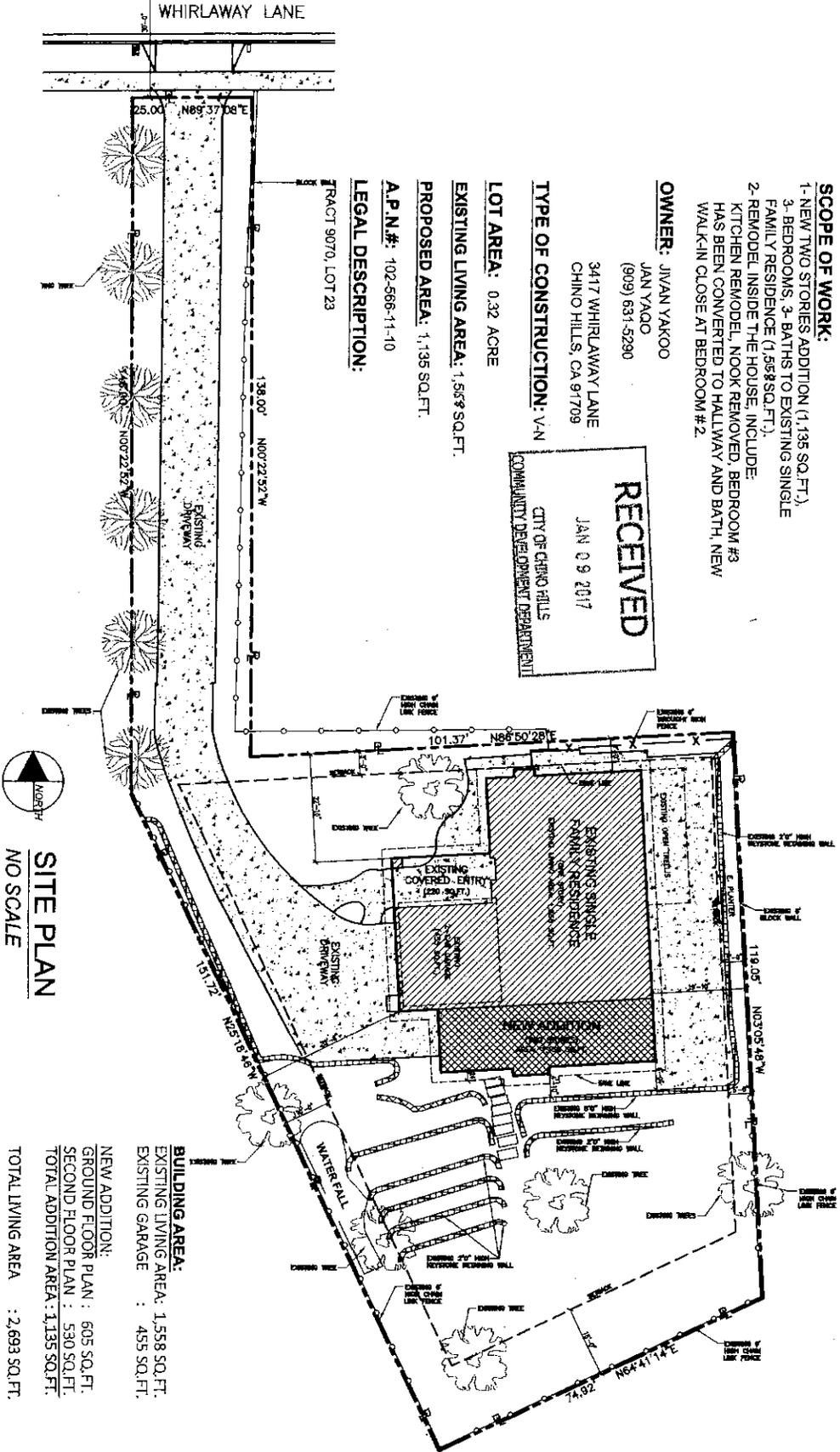
TRACT 9070, LOT 23



SITE COVERAGE DATA

TOTAL BUILDING FOOTPRINT
TOTAL (EXISTING SITE AREA)

AREA	% OF SITE (NET)
2,693 SQ. FT.	20.35 %
0.32 ACRES	100 %
(13,839.2 SQ.FT.)	



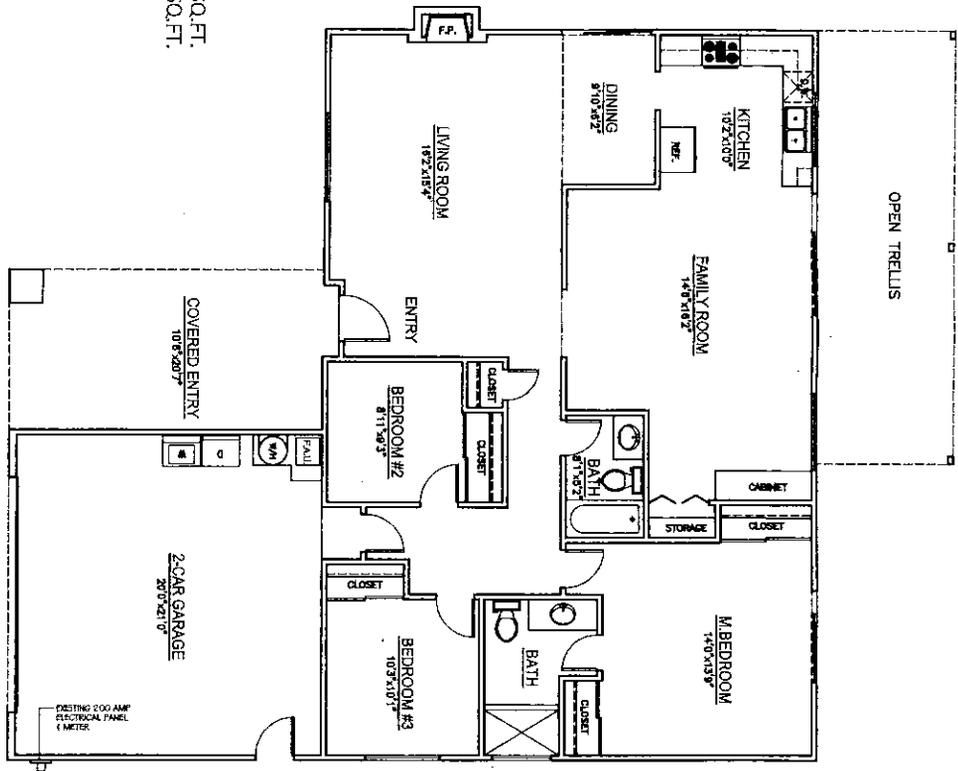
SITE PLAN
NO SCALE

BUILDING AREA:
EXISTING LIVING AREA: 1,558 SQ.FT.
EXISTING GARAGE : 455 SQ.FT.

NEW ADDITION:
GROUND FLOOR PLAN : 605 SQ.FT.
SECOND FLOOR PLAN : 530 SQ.FT.
TOTAL ADDITION AREA : 1,135 SQ.FT.

TOTAL LIVING AREA : 2,693 SQ.FT.

Exhibit "B"



BUILDING AREA:
 EXISTING LIVING AREA: 1,558 SQ.FT.
 EXISTING GARAGE : 455 SQ.FT.

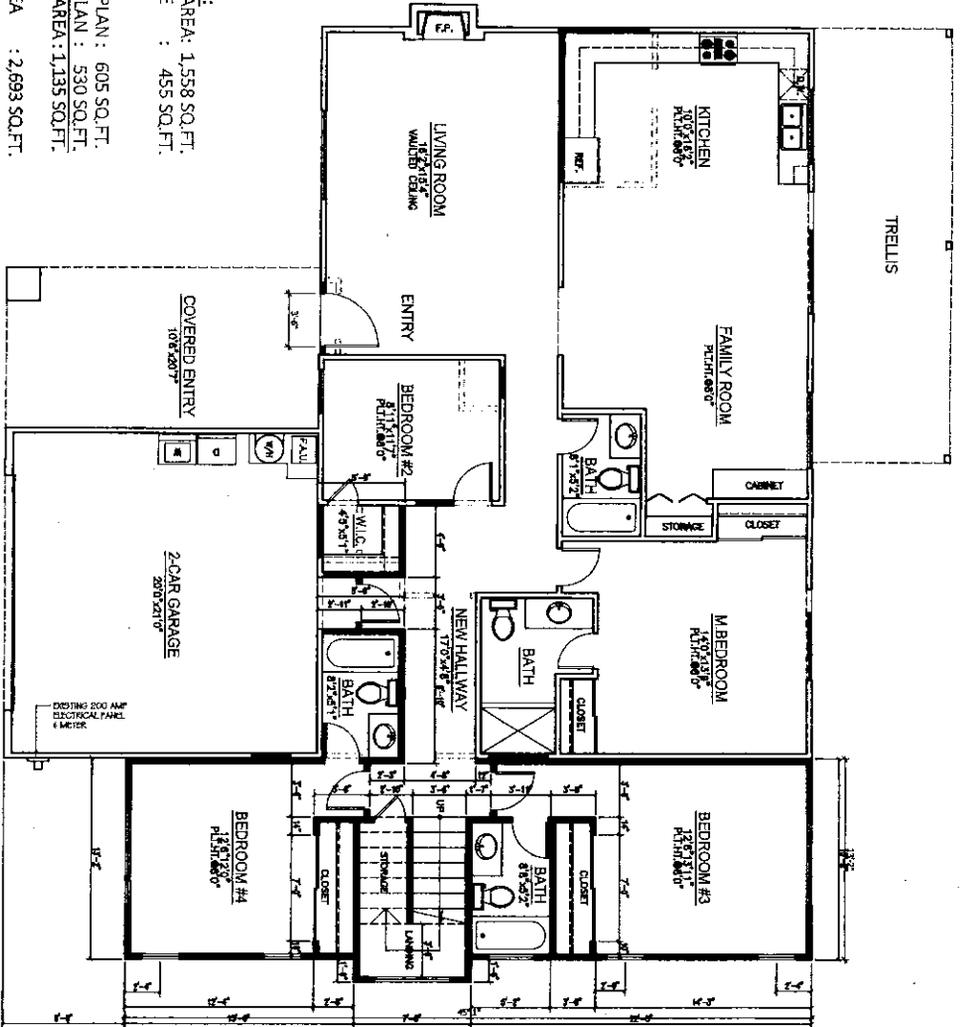
EXISTING FLOOR PLAN
 SCALE: 1/8"=1'-0"

EXISTING 200 AMP
 ELECTRICAL PANEL
 & METER

BUILDING AREA:
 EXISTING LIVING AREA: 1,558 SQ.FT.
 EXISTING GARAGE : 455 SQ.FT.

NEW ADDITION:
 GROUND FLOOR PLAN : 605 SQ.FT.
 SECOND FLOOR PLAN : 530 SQ.FT.
 TOTAL ADDITION AREA : 1,135 SQ.FT.

TOTAL LIVING AREA : 2,693 SQ.FT.



WALLS LEGEND:
 EXISTING WALL
 EXISTING WALL TO BE REMOVED
 NEW WALL

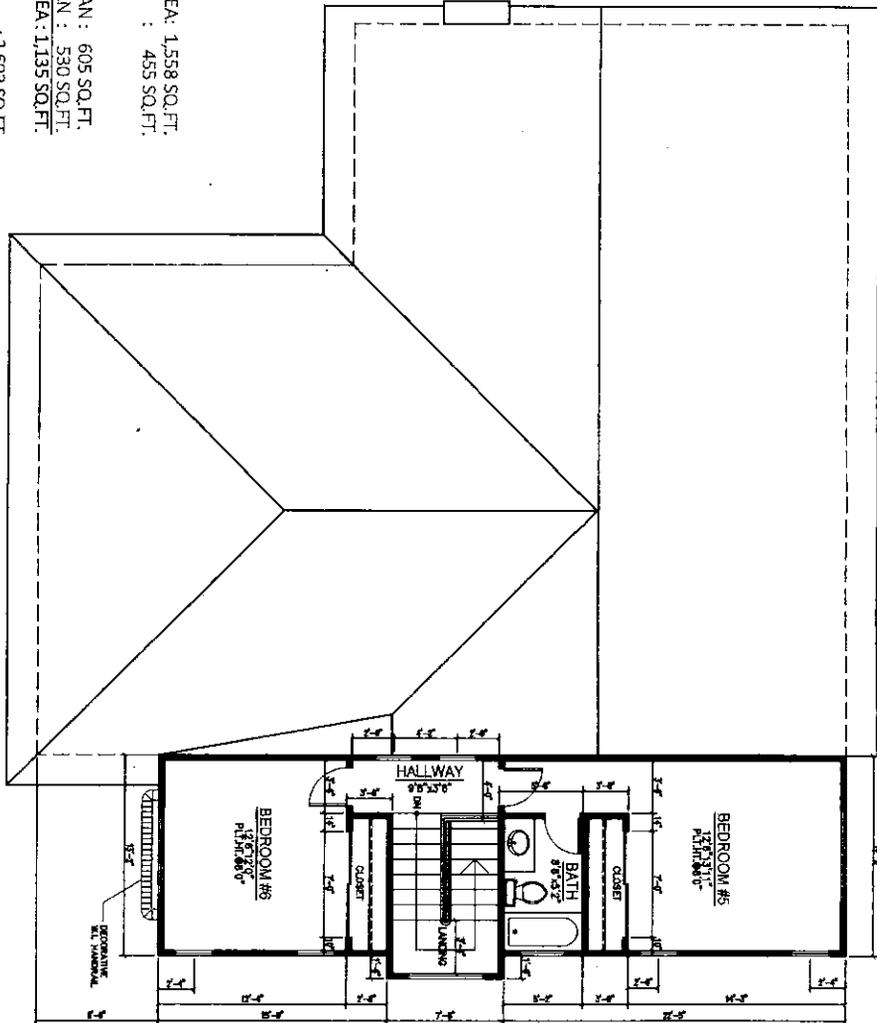
NEW GROUND FLOOR PLAN

SCALE: 1/8"=1'-0"

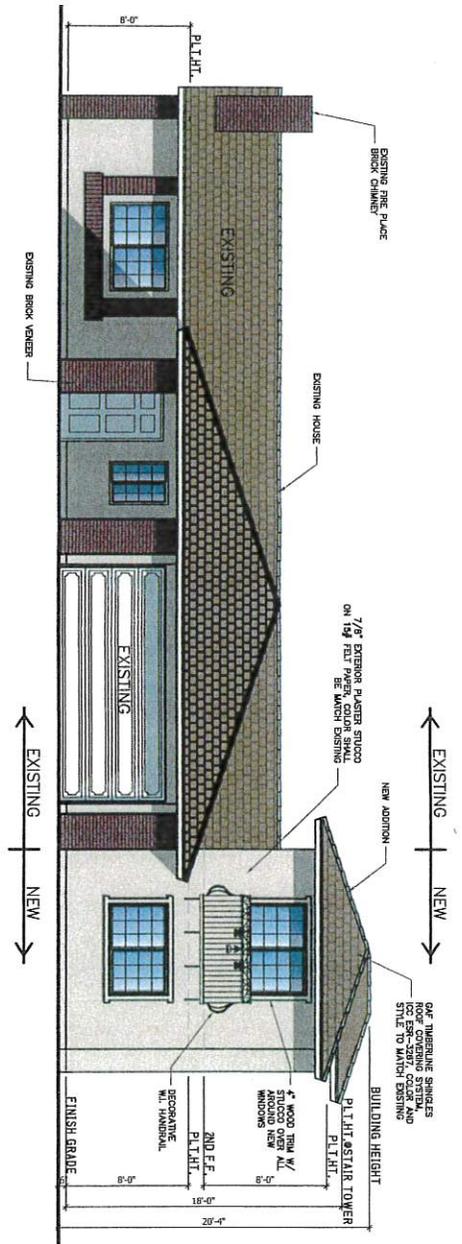
BUILDING AREA:
 EXISTING LIVING AREA: 1,558 SQ. FT.
 EXISTING GARAGE : 455 SQ. FT.

NEW ADDITION:
 GROUND FLOOR PLAN : 605 SQ. FT.
 SECOND FLOOR PLAN : 530 SQ. FT.
 TOTAL ADDITION AREA : 1,135 SQ. FT.

TOTAL LIVING AREA : 2,693 SQ. FT.

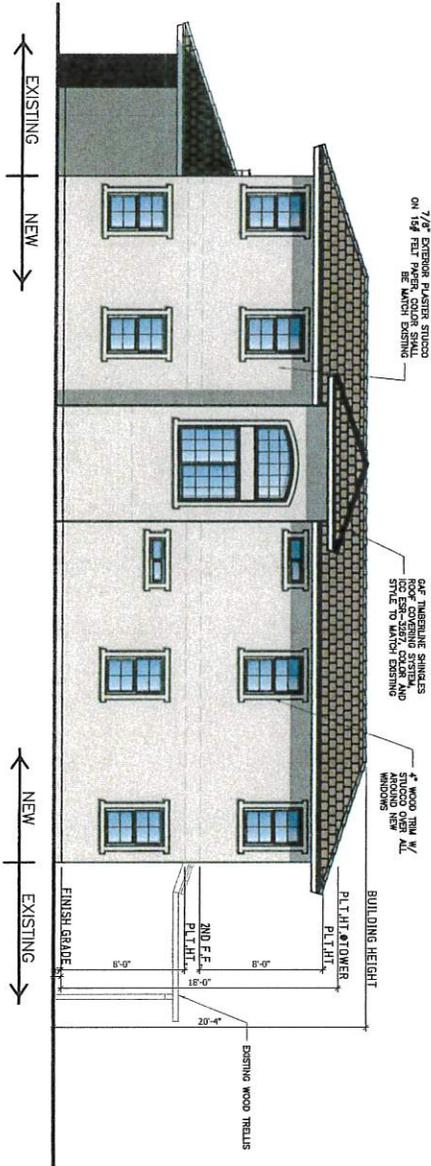


NEW SECOND FLOOR PLAN
 SCALE: 1/8"=1'-0"



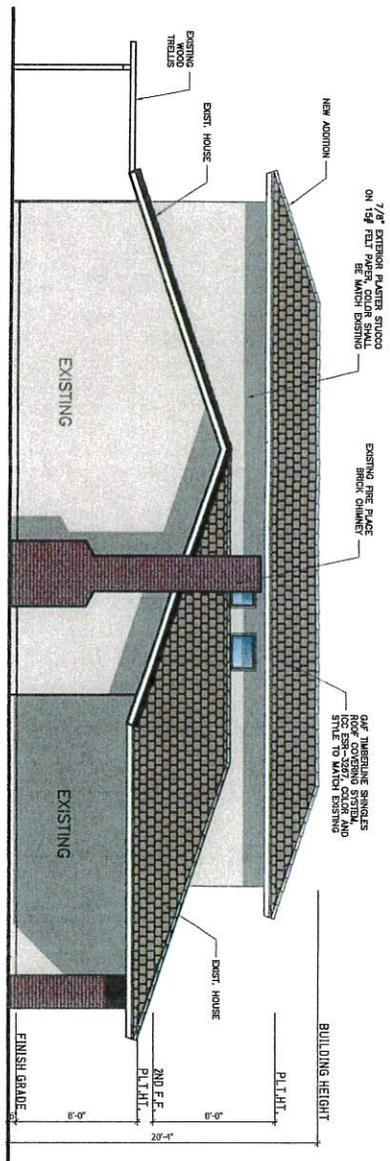
FRONT ELEVATION

SCALE: 1/8"=1'-0"

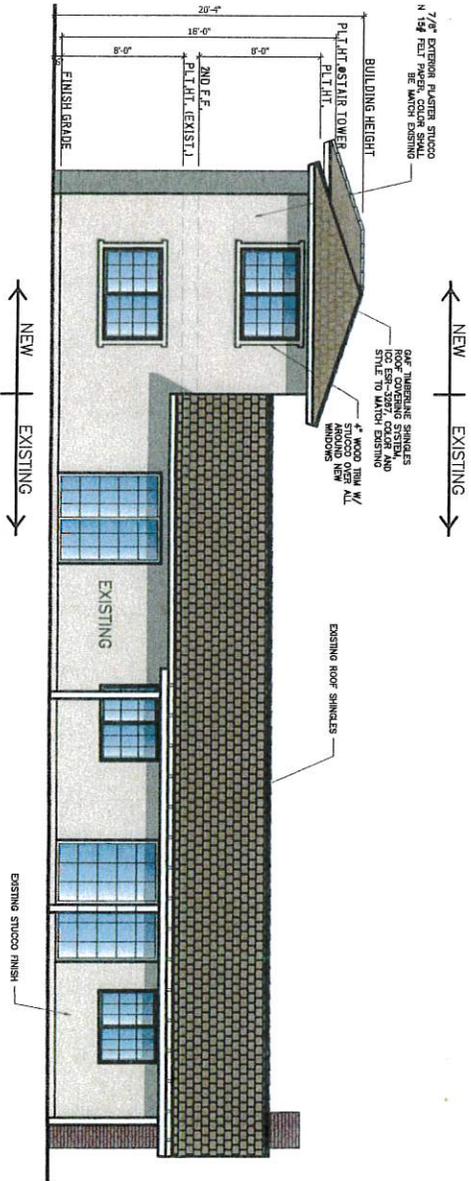


RIGHT SIDE ELEVATION

SCALE: 1/8"=1'-0"



LEFT SIDE ELEVATION
SCALE: 1/8"=1'-0"



REAR ELEVATION
SCALE: 1/8"=1'-0"

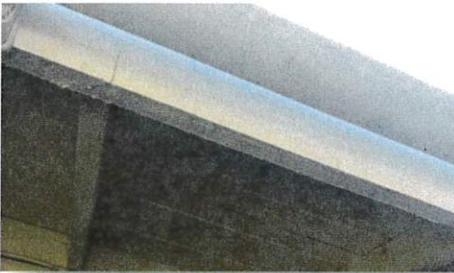
COLORS AND MATERIALS BOARD

Roof



Manufacture : GAF Timberline®
Lifetime
Style : Roofing Shingles
Color : Natural Shadow-Slate
(to match existing)

Fascia/Wood Rafter



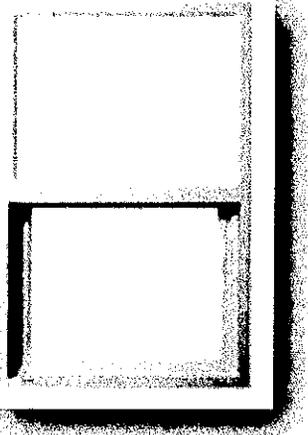
Finish : Wood
Color : White
(to match existing)

Stucco



Color: Newbury (to match existing)
Style : to match existing

Windows



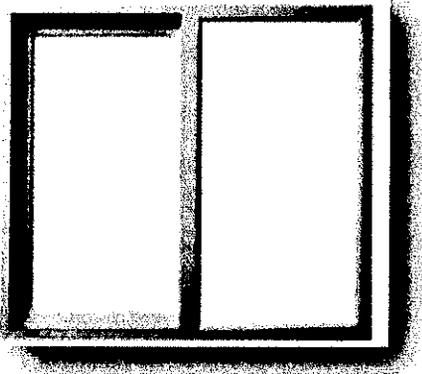
Single hung

**ATN Windows & Doors
Corp./Green World Windows**

Slider Windows- Platinum Series
w/ grid to match existing

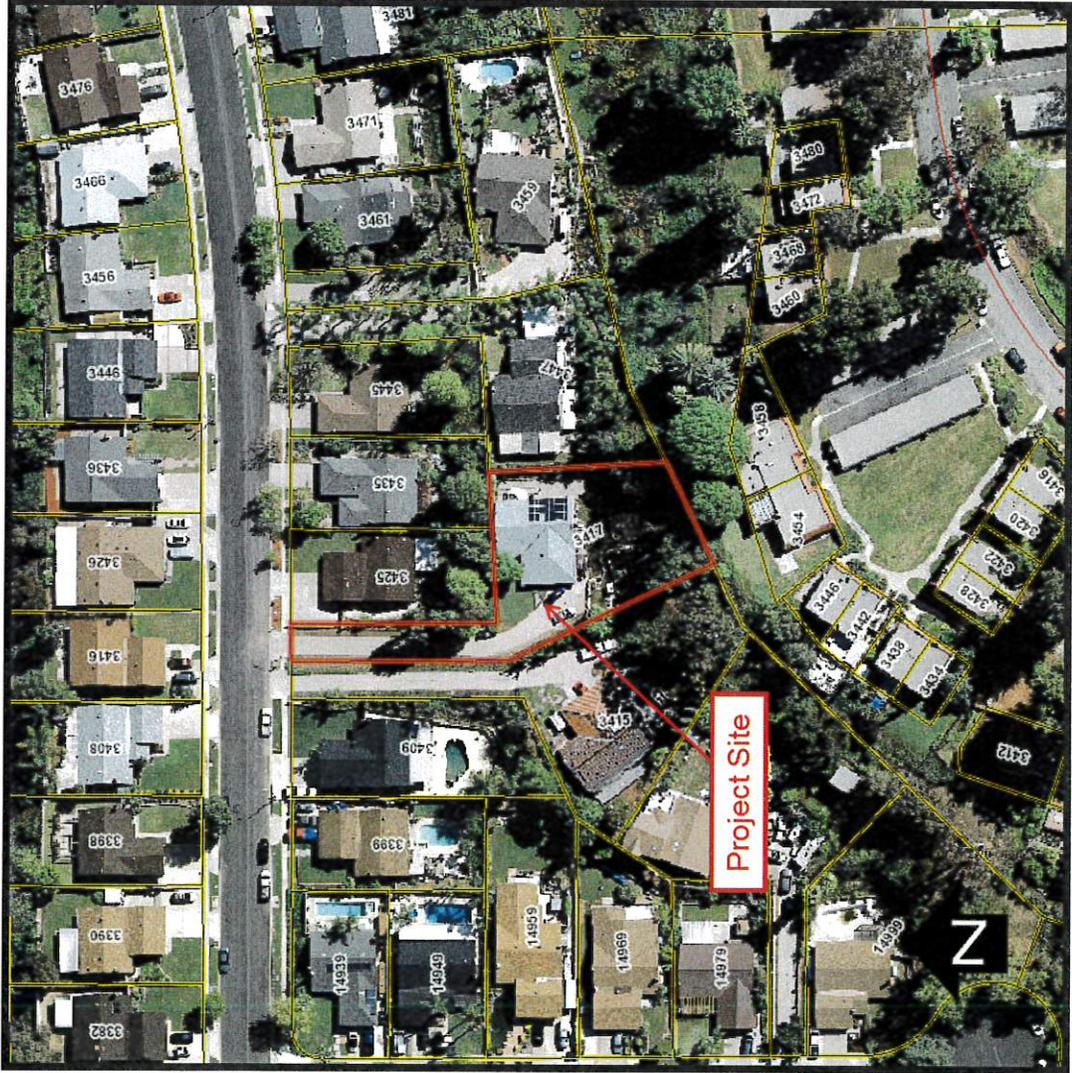
Model #: S-2900

Color : White (to match existing)

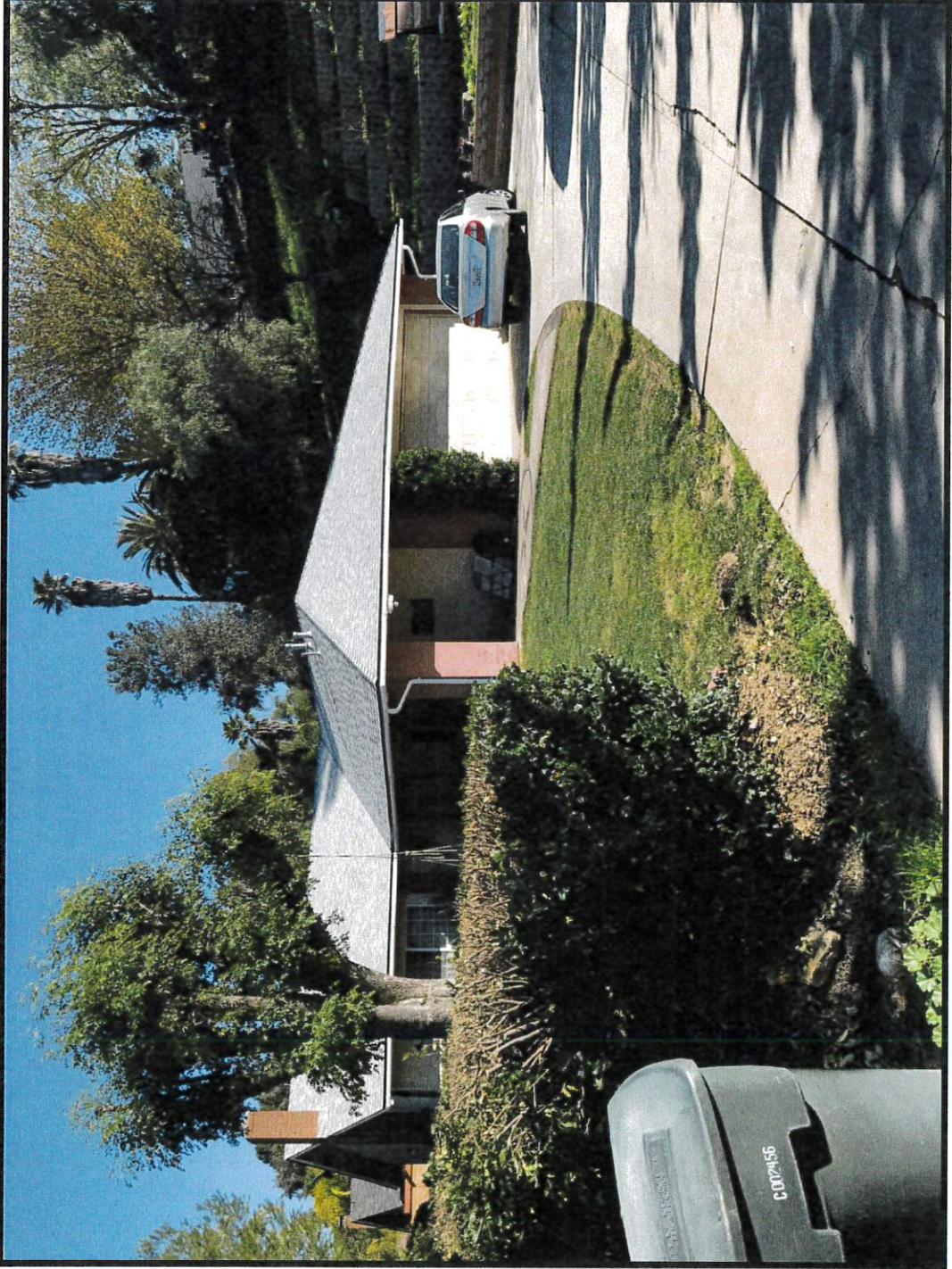


Horizontal sliding

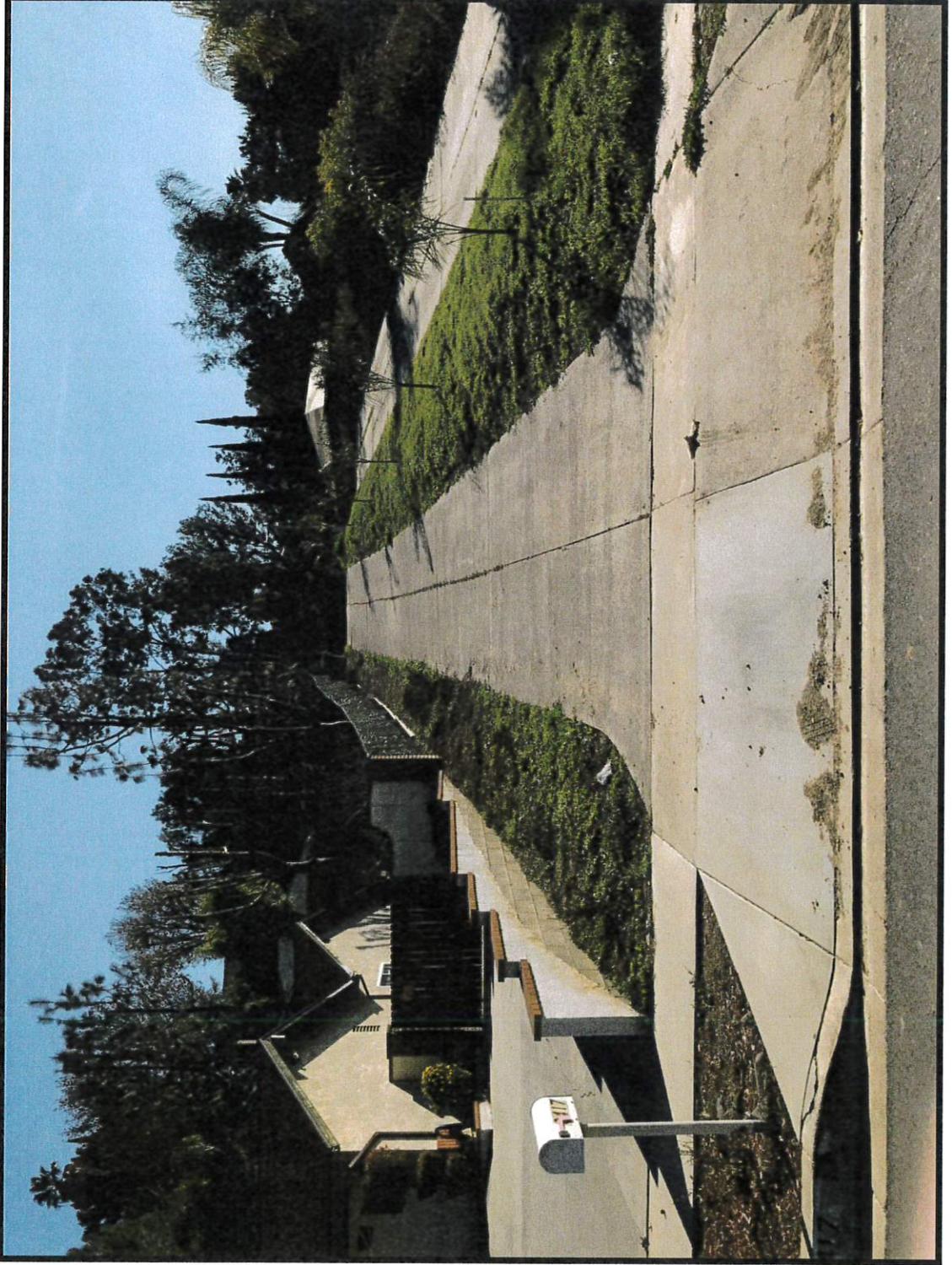
**YAKOO RESIDENCE
CUSTOM HOME DESIGN REVIEW NO. 435
3417 WHIRLAWAY LANE
PHOTO OF PROJECT SITE**



**YAKOO RESIDENCE
CUSTOM HOME DESIGN REVIEW NO. 435
3417 WHIRLAWAY LANE
PHOTO OF PROJECT SITE**



**YAKOO RESIDENCE
CUSTOM HOME DESIGN REVIEW NO. 435
3417 WHIRLAWAY LANE
PHOTO OF PROJECT SITE**



**YAKOO RESIDENCE
CUSTOM HOME DESIGN REVIEW NO. 435
3417 WHIRLWAY LANE
SURROUNDING PROPERTY PHOTOS**



3416 Whirlaway Lane

Exhibit "E"

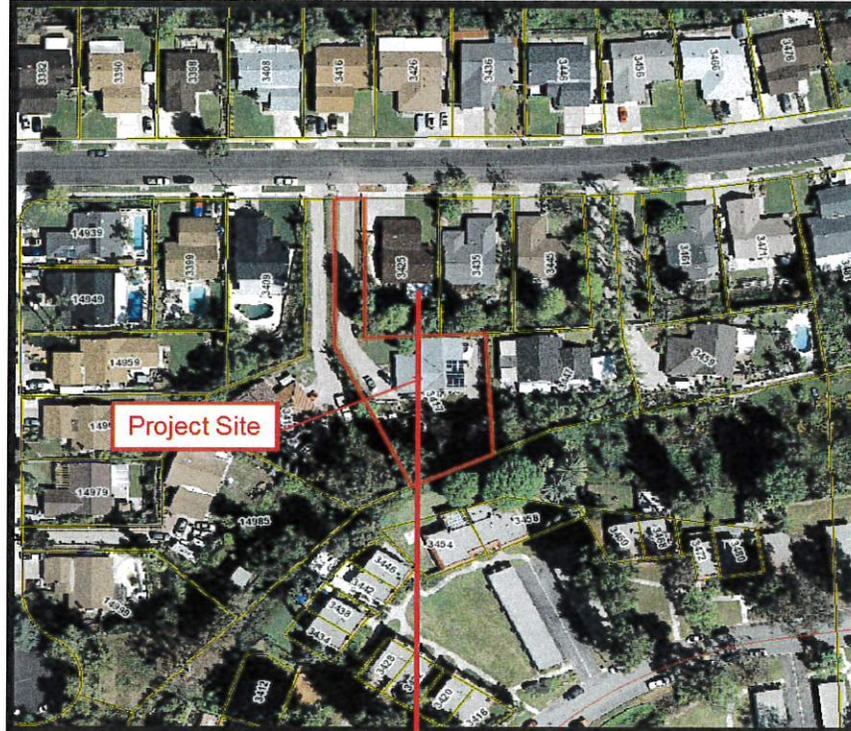
**YAKOO RESIDENCE
CUSTOM HOME DESIGN REVIEW NO. 435
3417 WHIRLWAY LANE
SURROUNDING PROPERTY PHOTOS**



3426 Whirlaway Lane

Exhibit "E"

**YAKOO RESIDENCE
CUSTOM HOME DESIGN REVIEW NO. 435
3417 WHIRLWAY LANE
SURROUNDING PROPERTY PHOTOS**



3425 Whirlaway Lane

Exhibit "E"

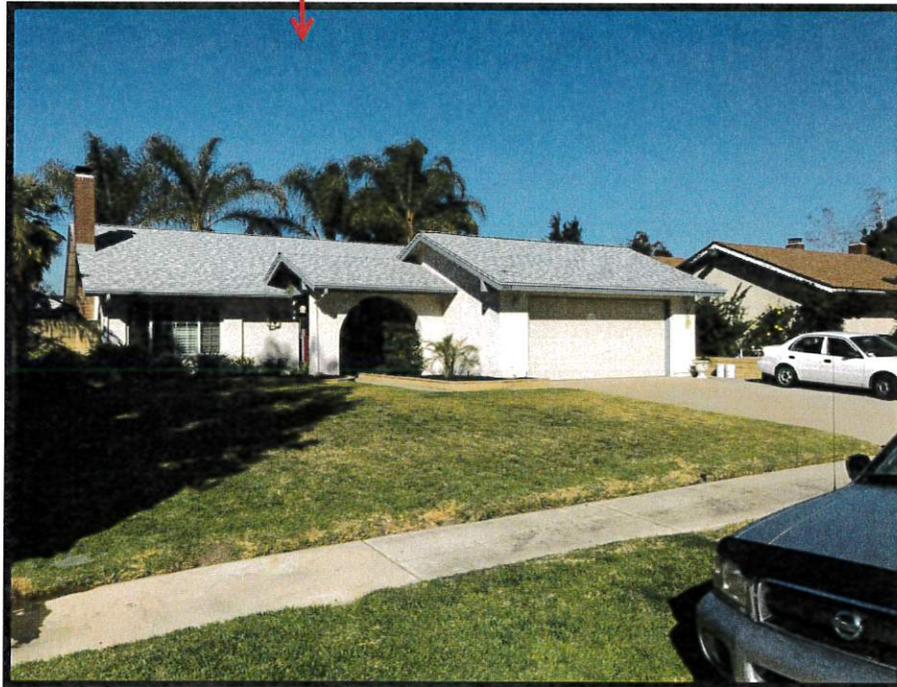
**YAKOO RESIDENCE
CUSTOM HOME DESIGN REVIEW NO. 435
3417 WHIRLWAY LANE
SURROUNDING PROPERTY PHOTOS**



3409 Whirlaway Lane

Exhibit "E"

**YAKOO RESIDENCE
CUSTOM HOME DESIGN REVIEW NO. 435
3417 WHIRLWAY LANE
SURROUNDING PROPERTY PHOTOS**



3408 Whirlaway Lane

Exhibit "E"

AFFIDAVIT OF MAILING

STATE OF CALIFORNIA)
COUNTY OF SAN BERNARDINO) **ss.**
CITY OF CHINO HILLS)

I, Michael Hofflinger, do hereby certify before the Planning Commission of the City of Chino Hills that a copy of the Public Meeting Notice for Custom Home Design Review No. 435 was mailed to each and every person set forth on the attached list on the 26th of January 2017. A copy of said Notice is attached hereto. Mailing of this document was completed by placing a copy of said document in an envelope, with postage prepaid, and depositing same in the U.S. Mail at Chino Hills, California.

I declare under penalty of perjury that the foregoing is true and correct.

Dated at Chino Hills, California, this 26th of January 2017.



Michael Hofflinger, Associate Planner

PUBLIC MEETING NOTICE

NOTICE IS HEREBY GIVEN that the Planning Commission of the City of Chino Hills will hold a public meeting on Tuesday February 7, 2017, at 7:00 p.m., in the Council Chambers of the City Hall, 14000 City Center Drive, Chino Hills, CA, to consider the following project.

CASE NO.: Custom Home Design Review
No. 435

**APPLICANT/
OWNER:** Jivan Yakoo
3417 Whirlaway Lane
Chino Hills, CA 91709

PROPOSAL: A request from Jivan Yakoo for the approval of Custom Home Design Review No. 435 for the addition of two-story, 1,135 square feet of livable space to an existing single-story home consisting of 1,558 square feet of livable space and an attached 455-square foot, two-car garage, totaling 2,013 square feet. After the addition, the total gross square footage of the remodeled home will be 3,148 square feet including two garage spaces

LOCATION: 3417 Whirlaway Lane

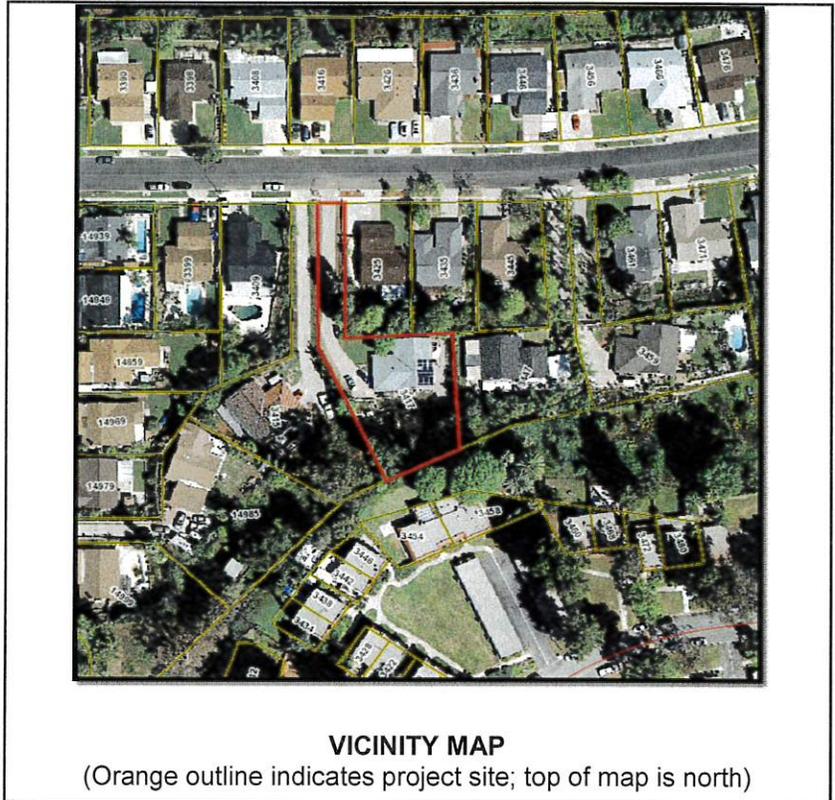
A.P.N.: 1025-661-11

ENVIRONMENTAL REVIEW: A determination has been made that the proposed project is exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15301(e) Existing Facilities of the CEQA Guidelines because the project consists of an addition of less than 10,000 square feet to an existing single-family residence where all public services and facilities are available to serve the project and the project is not located within an environmentally sensitive area. The proposed project is also categorically exempt from CEQA pursuant to Section 15303(a) New Construction or Conversion of Small Structures of the CEQA Guidelines because the project consists of the construction of an addition to only one single-family structure in a residential zoning district. Further, staff has determined with certainty that the project does not have the potential to cause a negative impact on the environment pursuant to CEQA Guidelines Section 15061(b)(3), the "common sense" exemption.

STAFF: Joann Lombardo, Community Development Director
Michael Hofflinger, Associate Planner

NOTICE IS HEREBY FURTHER GIVEN that if you challenge the above described project in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence delivered to the City at, or prior to, the public hearing.

ALL PERSONS INTERESTED are invited to be present at the public hearing. The proposed project application may be viewed Monday through Thursday, from 7:30 a.m. to 5:00 p.m. and Friday from 7:30 a.m. to 4:00 p.m. in the Community Development Department, City Hall, 14000 City Center Drive, Chino Hills, California. Additional information regarding this project may be obtained from Michael Hofflinger, Assistant Planner, with the Community Development Department at (909) 364-2777 or mhofflinger@chinohills.org.




Signature: Michael Hofflinger, Associate Planner

APN: 1025-661-11
Mr. Jivan Yakoo
3417 Whirlaway Lane
Chino Hills, CA 91709

APN: 1025-661-64
Current Resident
3415 Whirlaway Lane
Chino Hills, CA 91709

APN: 1025-661-63
Current Resident
3409 Whirlaway Lane
Chino Hills, CA 91709

APN: 1025-661-09
Current Resident
3416 Whirlaway Lane
Chino Hills, CA 91709

APN: 1025-661-12
Current Resident
3425 Whirlaway Lane
Chino Hills, CA 91709

APN: 1025-661-13
Current Resident
3435 Whirlaway Lane
Chino Hills, CA 91709

APN: 1025-661-15
Current Resident
3447 Whirlaway Lane
Chino Hills, CA 91709

APN: 1025-342-15
Current Resident
3458 Terrace Drive
Chino Hills, CA 91709

APN: 1025-342-14
Current Resident
3454 Terrace Drive
Chino Hills, CA 91709



PLANNING COMMISSION AGENDA STAFF REPORT

Meeting Date: February 7, 2017

Public Hearing:
Discussion Item:
Consent Item:

January 31, 2017

Agenda Item No.: 5d

TO: CHAIRMAN AND PLANNING COMMISSIONERS
FROM: JOANN LOMBARDO, COMMUNITY DEVELOPMENT DIRECTOR
SUBJECT: CUSTOM HOME DESIGN REVIEW NO. 443 – 3104 GIANT FOREST LOOP

EXECUTIVE SUMMARY

The applicant, Kimberly Feith, is requesting approval of Custom Home Design Review No. 443 for the development of a single-story, single-family detached residence consisting of 2,808 square feet of livable space with an attached 900-square foot, three-car garage on the vacant property located at 3104 Giant Forest Loop (Exhibit "B").

Pursuant to Sections 16.06.130, 16.10.050, and 16.20.090 of the Chino Hills Development Code, a Custom Home Design Review approval is required for the construction of a new single-family residential unit on a vacant residential property.

RECOMMENDATION

Staff recommends that the Planning Commission adopt the attached resolution finding that the project is exempt from review under the California Environmental Quality Act and approving Custom Home Design Review No. 443 based on the findings of facts as listed in the attached resolution and subject to the Conditions of Approval (Exhibit "A").

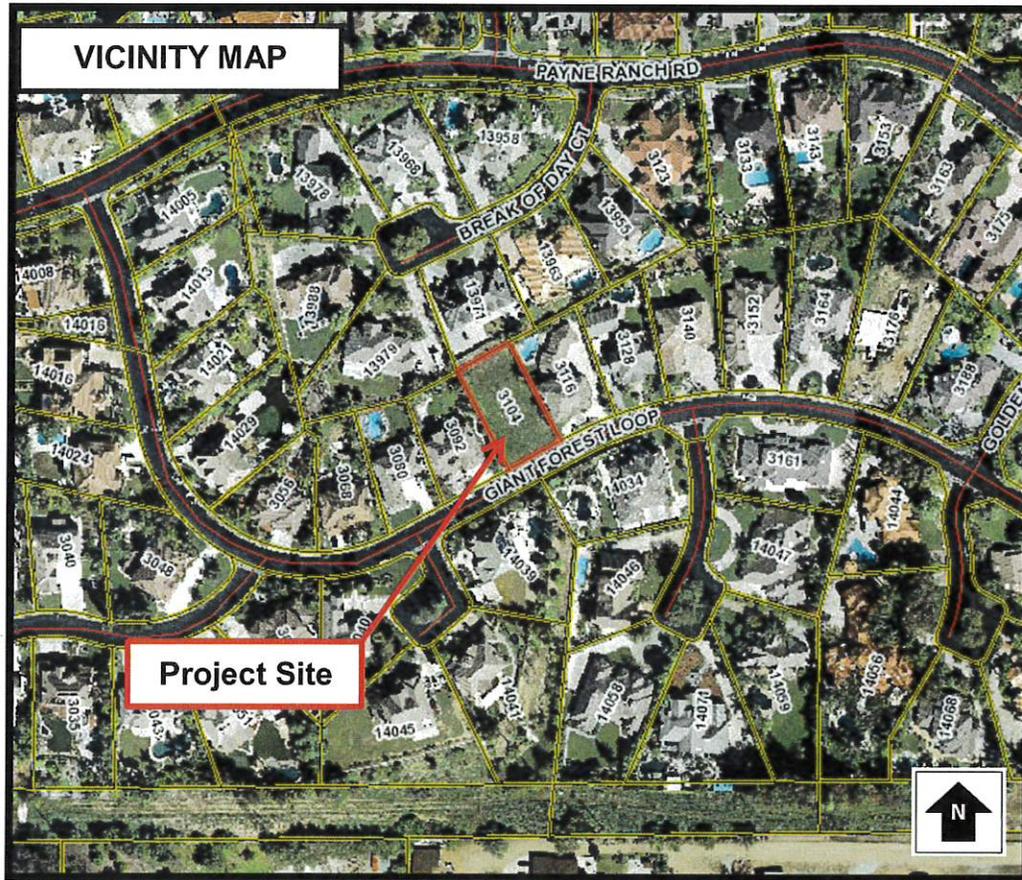
PROJECT

CASE NO.: Custom Home Design Review No. 443
APPLICANT/
OWNER: Kimberly Feith
100 N. Citrus Street Ste. 435
West Covina, CA 91791
LOCATION: 3104 Giant Forest Loop
Assessor's Parcel Number 1024-061-25
H.O.A.: Payne Ranch Estates Homeowners Association

BACKGROUND

The project site is located at 3104 Giant Forest Loop and is legally described as Lot 30 of Tract No. 11560. The project site is approximately 10,500 square feet, is designated

as Low Density Residential by the City's General Plan, and is zoned Planned Development (PD) 29-139 . The project site is located within the Payne Ranch gated community, which consists of one and two-story homes (Exhibits "F"). Payne Ranch Community is managed by Payne Ranch Estates Home Owners Association under the direction of Vintage Management consultants, whom approved the proposed custom home on November 18, 2016 (Exhibit "D").



PROPOSAL

The project proposes the construction of a one-story, single-family detached home with a total floor area of 2,808 square feet of livable space and an attached 900-square foot, three-car garage on a vacant property located at 4104 Giant Forest Loop. The proposed living area, measuring at 2,808 square feet, will consist of a great room, dining room, kitchen, laundry room, four bedrooms and five bathrooms. The proposed home also includes a 208-square foot California room, a 35-square foot front porch and a 240-square foot covered patio (Exhibit "B").

DEVELOPMENT STANDARDS

In accordance with Section 16.10.050 of the Development Code, the applicant has addressed the following design elements:

- General Plan and Zoning Consistency:** The project site is identified as Low Density Residential on the General Plan Land Use Map and is zoned PD 29-139. The proposed home is consistent with the standards of this district in that the proposed design and layout of the home maintains the proper setback requirements, is within the height limitations for residential construction, and does not exceed the allowable lot coverage. The construction of a new single-family residence is subject to the approval of a Custom Home Design Review, pursuant to Section 16.10.050 of the Development Code. If the Custom Home Design Review is approved, the proposed project would be consistent with the Development Code, a tool used to implement the General Plan. Approval of the proposed project furthers Goal H-2 of the General Plan "Maintain and Enhance the Quality of Existing Residential Neighborhoods". In providing the applicant the opportunity to construct a new single-family home in Chino Hills, the City furthers its goal of providing a high quality of life. Therefore, the approval of Custom Home Design Review No. 443, subject to the attached Conditions of Approval, would be consistent with the General Plan.
- Building Size & Mass:** The proposed addition will reach a maximum height of 22 feet and 1-inch, which complies with the 35-foot maximum building height development standard for PD 29-139 (Exhibit "B").

The proposed livable area improvements on the site are detailed below:

Proposed First Floor	2,808 sq. ft.
Total Livable Floor Area:	2,808 sq. ft.

<u>Total Building Footprint</u>	
Proposed Building Footprint (Livable Area)	2,808 sq. ft.
Proposed Three-Car Garage	900 sq. ft.
Proposed California Room	208 sq. ft.
Proposed Front Porch	35 sq. ft.
Proposed Covered Patio	240 sq. ft.
Total Structure Coverage:	4,191 sq. ft.

Concrete Pavement inside Front Yard Setback	741 sq. ft.
Total Impervious Area inside Front Yard Setback	741 sq. ft.

PD 29-139 specifies maximum lot coverage by structures of forty (40) percent and Section 16.10.030 specifies fifty (50) percent maximum coverage by impervious surfaces within the front yard setback, or as otherwise provided within 16.10.030 Table 20-1, note (h)¹ As shown in the following table, the proposal meets the standards for lot coverage by structures and by impervious surfaces.

PROJECT INFORMATION	PROPOSAL	MAXIMUM ALLOWED	MEETS REQUIREMENT?
Property Size (sq. ft.)	10,500	--	--
Building Footprint (sq. ft.)	4,191	4,200	Yes
Percent Coverage by Structure	39.9%	40%	Yes
Front Yard Setback Area (sq. ft.)	1,875	--	--
Front Yard Impervious Surfaces (sq. ft.)	741	937	Yes
Percent Coverage by Front Yard Impervious Surfaces (sq. ft.)	39%	50%	Yes

Pursuant to Section 16.20.090(F) of the Development Code, the size of the house is exempt from review as part of the Design Review process if the overall size of the proposed house does not vary by more than ten (10) percent from the largest or smallest existing home within the Planned Development and where the minimum lot size in the tract containing the comparison homes does not vary by more than twenty (20) percent from the minimum lot size of the tract in which the project is located. If the lots used in the comparison are within the same tract as the proposed house, then lot size is not applicable.

Based on the San Bernardino County Assessor's information, the largest and the smallest home within PD 29-139 in which the proposed project is located are as follows:

House Type Within PD 29-139	Address	Tract Map	House Size (livable sq. ft. only)	House Size with 10% Variation (sq. ft.)
Largest House	3114 Payne Ranch Road	TM 13814-1	6,889	7,578
Smallest House	13968 Break of Day Court	TM 13814-1	3,737	3,363
Proposed House	3104 Giant Forest Loop	TM 11560	2,808	

The proposed home is approximately twenty-five (25) percent smaller than the smallest home within PD 29-139, which exceeds the threshold for the size exemption pursuant to Section 16.20.090(F); therefore, the size of the home is within the purview of the Design Review application. The proposed lot to be developed is the smallest lot within the Payne Ranch Community at 10,500 square feet compared to the average lot size of approximately 35,000 square feet. Additionally, the proposed size of the home meets the minimum size requirement for Payne Ranch Estates Homeowners Association of 3,000 square feet. The proposed one-story house is designed to meet the applicant's needs and its roofline is sufficiently varied to blend with the larger homes within the Payne Ranch Community. Therefore, the proposed home is of reasonable size as it complies with this minimum size within the HOA and as custom lots in this community provides the opportunity for the development of large and small custom homes.

- **Building Materials:** The applicant has incorporated color/materials legend within the plans and colored elevations illustrating the exterior materials and colors for the

proposed home (Exhibits “B” and “C”).

MATERIAL	COLOR	MANUFACTURER
Concrete Roof Tiles	Charcoal Gray	Eagle Roofing
Stucco/Eaves	White DEW381/LRV 83	Dunn Edwards
Stone	White	Eldorado

The proposed design and building materials of the addition are in harmony with the appearance of the existing home as well as other existing residences in the neighborhood, as well as those found throughout the community. The color, materials, and design of the proposed addition is consistent with the colors, materials, and designs of the existing home as well as the existing homes within the project area and the proposed home provides 360° of architectural enhancements. The mass and scale of the proposed home is also compatible with other homes within the same area. The style and materials of the project contribute to the overall high quality design in the neighborhood.

- **Facade and Roof Articulation:** The proposed design and layout of the home and attached garage is sufficiently varied to avoid monotony in the external appearance. The proposed design features a raised roof line for the entry porch, gable roof, breaks in the wall plane and features windows varying size and shape to provide visual interest. The home also features rooflines at varying heights, which provides vertical articulation and visual interest (Exhibit “B”).
- **Unit Placement:** The applicant has proposed to develop within the buildable area of the lot and will comply with the setback and building separation standards of the zoning district as shown in the following table:

SETBACKS	PROPOSED	REQUIRED	MEETS REQUIREMENT?
Front Yard	25'-0"	25'-0"	Yes
Interior Side Yard	5'-0" & 10'-0"	5'-0" & 10'-0"	Yes
Rear Yard	31'-6"	15'-0"	Yes

- **Compatibility:** The design of the proposed home is generally compatible with the architectural design of the other homes within the tract and neighborhood. Given that the lots in the area have been built with varying designs, no one architectural style dominates the neighborhood, and the proposed home incorporates elements present in existing homes, the proposed home is compatible with the surrounding neighborhood. The mass of the proposed project is compatible with the neighborhood, which features one and two-story homes. The home incorporates a covered front porch, window treatments and building articulation that are featured on other homes in the neighborhood. (Exhibits “B” and “F”).
- **Protected Tree Removal:** The project site is a privately owned vacant lot and is not located in the Fire Hazard Overlay District; therefore, the proposed project is not exempt from the provisions of Chapter 16.90 Tree Preservation. However, the

owner does not propose to remove any trees as there are no existing trees on the subject property.

PUBLIC COMMENTS

Public notices regarding this project were mailed to the adjacent property owners surrounding the project site on January 26, 2017. Staff has received no public comments as of the writing of this report.

ENVIRONMENTAL ASSESSMENT

Staff has determined that the proposed project is exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15303(a) New Construction or Conversion of Small Structures of the CEQA Guidelines. The proposed project consists of the construction of one (1) single-family residence in a residential zone. Further, staff has determined with certainty that the project does not have the potential to cause a negative impact on the environment pursuant to CEQA Guidelines Section 15061(b)(3), the "common sense" exemption.

Respectfully submitted,

Recommended by:



Joann Lombardo
Community Development Director



Ryan Gackstetter
Senior Planner

Prepared by:



Michael Hofflinger
Associate Planner

Attachments:

1. Resolution
2. Exhibit "A" – Conditions of Approval
3. Exhibit "B" – Project Plans, Color Elevations
4. Exhibit "C" – Materials
5. Exhibit "D" – HOA Approval
6. Exhibit "E" – Site Photos
7. Exhibit "F" – Surrounding Property Photos
8. Affidavit of Mailing (Notification Letter & Mailing List)

RESOLUTION NO. PC 2017 – _____

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF CHINO HILLS APPROVING CUSTOM HOME DESIGN REVIEW NO. 443 FOR THE CONSTRUCTION OF A 2,808 SQUARE FOOT, ONE-STORY, SINGLE-FAMILY DETACHED HOME WITH A 900-SQUARE FOOT, THREE-CAR GARAGE LOCATED AT 3104 GIANT FOREST LOOP AND DETERMINING THAT THE PROJECT IS EXEMPT FROM REVIEW UNDER THE CALIFORNIA ENVIRONMENTAL QUALITY ACT

THE PLANNING COMMISSION OF THE CITY OF CHINO HILLS DOES HEREBY RESOLVE AS FOLLOWS:

SECTION 1. The Planning Commission does hereby make the following findings of fact:

- A. The applicant, Kimberly Feith, requested approval of Custom Home Design Review No. 443 for the development of a 2,808-square foot, one-story, single-family detached home with an attached 900-square foot, three-car garage located at 3104 Giant Forest Loop.
- B. The site is located at 3104 Giant Forest Loop and is legally described as Assessor's Parcel Number (APN) 1024-061-25 as shown in the latest records of the Office of the Tax Assessor of the County of San Bernardino.
- C. The property is zoned Planned Development (PD) 29-139 and has a General Plan designation of Low Density Residential.
- D. The project is exempt from the requirements of the California Environmental Quality Act ("CEQA") Guidelines pursuant to Section 15303(a) (New Construction or Conversion of Small Structures) of the CEQA Guidelines. The proposed project consists of the construction of one (1) single-family residence in a residential zone. Further, staff has determined with certainty that the project does not have the potential to cause a negative impact on the environment pursuant to CEQA Guidelines Section 15061(b)(3), the "common sense" exemption.
- E. Pursuant to Section 16.06.130.B., this application is a design review processed concurrently pursuant to both Sections 16.10.050 and 16.20.090 of the Chino Hills Development Code.
- F. The Planning Commission of the City of Chino Hills held a duly noticed public meeting on February 7, 2017, to review and consider the staff report

prepared for the project, receive public testimony, and review all correspondence received on the project.

SECTION 2. With regard to the request for approval of Custom Home Design Review No. 443, based upon oral and written testimony and other evidence received at the public meeting held for the project, and upon studies and investigations made by the Planning Commission and on its behalf, pursuant to Section 16.10.050 of the Chino Hills Development Code, the Planning Commission does further find as follows:

- A. FINDING: The proposed single-family detached residential development is consistent with the General Plan.

FACT: The project site is identified as Low Density Residential on the General Plan Land Use Map and is zoned PD 29-139. The proposed home is consistent with the standards of this district in that the proposed design and layout of the home maintains the proper setback requirements, is within the height limitations for residential construction, and does not exceed the allowable lot coverage. The construction of a new single-family residence is subject to the approval of a Custom Home Design Review, pursuant to Section 16.10.050 of the Development Code. If the Custom Home Design Review is approved, the proposed project would be consistent with the Development Code, a tool used to implement the General Plan. Approval of the proposed project furthers Goal H-2 of the General Plan "Maintain and Enhance the Quality of Existing Residential Neighborhoods". In providing the applicant the opportunity to construct a new single-family home in Chino Hills, the City furthers its goal of providing a high quality of life. Therefore, the approval of Custom Home Design Review No. 443, subject to the attached Conditions of Approval, would be consistent with the General Plan.

- B. FINDING: The proposed design and layout of the single-family detached residential development is sufficiently varied to avoid monotony in the external appearance.

FACT: The proposed design and layout of the home and attached garage is sufficiently varied to avoid monotony in the external appearance. The proposed design features a raised roof line for the entry porch, gable roof, breaks in the wall plane and features windows varying size and shape to provide visual interest. The home also features rooflines at varying heights, which provides vertical articulation and visual interest.

- C. FINDING: The proposed design and layout of the single-family detached residential development is in harmony with the appearance of other existing residences in the neighborhood, as well as those found throughout the community.

FACT: The color, materials, and design of the proposed custom home are

consistent with the colors, materials, and designs of the existing homes within the project area and the proposed home provides 360° of architectural enhancements. The mass and scale of the proposed home is also compatible with other homes within the same area. The style and materials of the applicant's home contribute to the overall high quality design in the neighborhood.

- D. FINDING: The plans for the single-family detached residential development have properly implemented the residential design guidelines set forth in the Development Code.

FACT: The proposed custom home complies with the Residential Design Guidelines set forth in the Development Code because it maintains the proper setback requirements, is within the height limitations for residential construction, and does not exceed the allowable lot coverage. The proposed project also complies with the provisions of the Residential Design Guidelines addressing building massing and scale, enhanced architectural treatment, and varied structure design. In addition, the adjacent property owners were notified of the proposed project, staff did not receive any comments as of the writing of the staff report.

SECTION 3. With regard to the request for approval of Custom Home Design Review No. 443, based upon oral and written testimony and other evidence received at the public meeting held for the project, and upon studies and investigations made by the Planning Commission and on its behalf, the pursuant to Section 16.20.090.E of the Chino Hills Development Code, the Planning Commission does further find as follows:

- A. FINDING: The proposed design is compatible with the character and architecture of residences located within the same tract, and adjacent tracts of the PD in which the property which is the subject of the application is located.

FACT: The design of the proposed home is generally compatible with the architectural design of the other homes within the tract and neighborhood. The homes in the neighborhood feature a variety of architectural styles and treatments. The proposed home incorporates a covered front porch, window treatments, stone, and other architectural elements that are featured on other homes in the neighborhood. The color, materials, and design of the proposed custom home are consistent with the colors, materials, and designs of the existing homes within the project area and the proposed home provides 360° of architectural enhancements. The style and materials of the applicant's home contribute to the overall high quality design in this tract and adjacent tracts within the Planned Development neighborhood.

- B. FINDING: The size of the proposed unit is in proportion to the lot on which it is to be placed, and is compatible in relationship to other existing

residential dwelling units (particularly units within a tract and adjacent tracts of the PD in which the property which is the subject of the application is located).

FACT: The proposed home is approximately twenty-five (25) percent smaller than the smallest home within PD 29-139, which exceeds the threshold for the size exemption pursuant to Section 16.20.090(F); therefore, the size of the home is within the purview of the Design Review application. The proposed lot to be developed is the smallest lot within the Payne Ranch Community at 10,500 square feet compared to the average lot size of approximately 35,000 square feet. Additionally, the proposed size of the home meets the minimum size requirement for Payne Ranch Estates Homeowners Association of 3,000 square feet. The proposed one-story house is designed to meet the applicant's needs and its roofline is sufficiently varied to blend with the larger homes within the Payne Ranch Community. Therefore, the proposed home is of reasonable size as it complies with this minimum size within the HOA and as custom lots in this community provides the opportunity for the development of large and small custom homes.

- C. FINDING: The proposed project does not adversely affect the number and mix of particular unit types or elevations within a residential tract of production homes.

FACT: The proposed architectural design of the custom single-family home is compatible with the surrounding neighborhood, given that the lots in the area have been built with varying architectural designs and no one architectural style dominates the neighborhood. The proposed design of the home will consist of one level above ground which is compatible with the existing neighborhood of one, two, and three-story homes. The project is not located within a tract of production homes.

- D. FINDING: The types of materials to be used in the exterior construction of the unit are compatible with the materials used in the construction of other homes in the tract.

FACT: The proposed project will feature compatible materials such as stucco, stone, and tile roof that are featured on other homes within the tract. Therefore, the types of materials to be used in the exterior construction of the proposed home are compatible with the materials used in the construction of other homes in the tract.

- E. FINDING: The type of roofing material used is appropriate for the style of the house and compatible with other houses in the tract.

FACT: The proposed project will feature a tile roof that is appropriate for

the proposed architectural style of the single-family residence and will be compatible with the tile roofs featured on other homes within the tract.

- F. FINDING: The placement of the unit on the lot, including setback from front and side lot lines, complies with the applicable development standards.

FACT: The proposed structure complies with the applicable development standards in PD 29-139, including the setbacks governing the placement of the unit on the property.

SECTION 4. Based on the findings and conclusions set forth above, the Planning Commission hereby approves Custom Home Design Review No. 435 pursuant to Sections 16.10.050 and 16.20.090 of the Chino Hills Development Code, subject to the Conditions of Approval dated February 7, 2017, and labeled as Exhibit "A" incorporated into this resolution by reference, and the Project Plans on file with the Planning Commission Secretary.

SECTION 5. The Planning Commission Secretary shall certify the adoption of this resolution.

ADOPTED AND APPROVED this 7th day of February 2017.

ADAM ELIASON
CHAIRMAN

ATTEST:

KAREN PULVERS
PLANNING COMMISSION SECRETARY

APPROVED AS TO FORM:

ELIZABETH M. CALCIANO
ASSISTANT CITY ATTORNEY

STATE OF CALIFORNIA)
COUNTY OF SAN BERNARDINO)
CITY OF CHINO HILLS) ss.

I, KAREN PULVERS, Planning Commission Secretary of the City of Chino Hills, do hereby certify that the foregoing Resolution No. PC 2017-__ was duly passed and adopted at a regular meeting of the Chino Hills Planning Commission held on the 7th day of February 2017, by the following roll call vote, to wit:

AYES: COMMISSION MEMBERS:

NOES: COMMISSION MEMBERS:

ABSENT: COMMISSION MEMBERS:

KAREN PULVERS
PLANNING COMMISSION SECRETARY



CITY OF CHINO HILLS
Conditions of Approval
Design Review No. 443
3104 Giant Forest Loop

Community Development Department

1. The project construction shall be in substantial conformance with Exhibit "B" as approved by the Planning Commission. No modification to the Site Plan, Design Plan, or the Conditions of Approval for the Design Review shall be permitted without the approval of the Community Development Director or his/her designee.
2. Exterior materials, finishes, and colors shall be in substantial conformance with Exhibit "B" as approved by the Planning Commission for a period of one (1) year following the completion of project construction and the final City-required inspection.
3. Pursuant to Development Code Section 16.10.030 Development Standards, impervious surface coverage within the required front yard setback area shall not exceed fifty percent (50%) or as otherwise provided in Chapter 16.10.303 Table 20-1(A) of the Municipal Code.
4. A final inspection by the Planning Division will be required to ensure the proposed single-family home is consistent with the approved plans.
5. Landscape improvements with new total project net landscape area (including water features and swimming pools) equal to or greater than 5,000 square feet, shall be subject to Chapter 16.07 Landscape and Water Conservation Guidelines of the City's Municipal Code. If the new total project net landscape area is 5,000 square feet or more, landscape and irrigation plans shall be submitted to the Community Development Department for review prior to the issuance of building permits.
6. Prior to the final inspection of the project, irrigation and landscaping shall be installed within the front yard.
7. This project has been determined to be exempt from the California Environmental Quality Act pursuant to Sections 15303(a) and 15061(b)(3) of the CEQA Guidelines; a Notice of Exemption will be mailed to the County Clerk of the Board upon approval by the Planning Commission. Within two (2) days of approval by the Planning Commission, the applicant shall submit to the Planning Division a check for the filing fee applicable to this notice in the amount of \$50.00, payable to the "Clerk of the Board".

Chino Valley Independent Fire District

8. A minimum of two (2) sets of plans shall be submitted separately for each of the following listed items to the Fire District for review, approval and permit prior to any installation or work being done. Approved plans must be maintained at the worksite during construction. Fees are due at the time of submittal.

- a. Building Construction – a current fire flow is required to be submitted with the plans. Submitted plans to the Fire District shall include a scaled site plan showing the closest fire hydrant.
 - b. Fire Sprinkler Systems are required to be designed by a C16 contractor or registered engineer.
9. Smoke detectors are required to be installed per Section 310 of the California Building Code, current adoption edition. Locations shall be approved by the Fire Prevention Division.
10. Residential street addresses shall be posted with a minimum of four inch (4") numbers, shall be electrically illuminated (by 12-volt power source) by internal means during the hours of darkness. Posted numbers shall contrast with background used and be legible from the street in accordance with California Fire Code, current adopted edition. Where building is set back more than 100 feet from the roadway, additional non-illuminated four inch (4") numbers shall be displayed at the property access entrance. These numbers shall also contract with the background used. Please refer to Fire District Standard No. 122.
11. A residential "life safety" fire sprinkler system is required. The developer shall submit three (3) sets of detailed plans and hydraulic calculations to the Fire Prevention Division for approval. Minimum water supply shall be one inch (1") meter. The system shall be installed, tested and approved prior to occupancy. The system shall meet the standards of NFPA 13R or 13D and Fire District Standard No. 126. Dwellings in excess of 5,000 square feet shall provide calculations of the four (4) most remote sprinkler heads.

END OF SEQUENTIAL CONDITIONS

Project Manager: Michael Hofflinger

FEITH RESIDENCE
3104 GIANT FOREST LOOP
CHINO HILLS, CA 91709
APN: 1024-061-025

OWNER:

KIM FEITH
 3104 GIANT FOREST LOOP
 CHINO HILLS, CA 91709

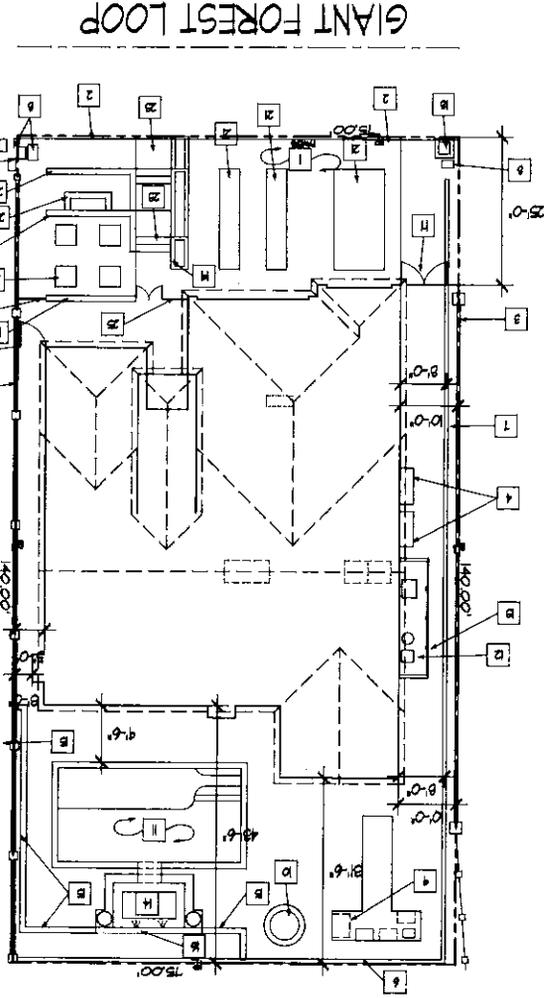
LEGAL DESCRIPTION:

LOT 90 TRACT 115602
 3104 GIANT FOREST LOOP
 CHINO HILLS, SAN BERNARDINO COUNTY, CA
 APN: 1024-061-25

DAVE MADDEN ARCHITECT
 2114 S. HIGHLAND AVENUE, SUITE 100
 WEST HARTLAND, CALIFORNIA 92582

DMA

SCALE: 1" = 20'-0"



GIANT FOREST LOOP

INTERVIEWS SURFACE SQUARE FOOTAGE: 1275 SQUARE FEET.
 INTERVIEWS AREA, DRIVE IN WALK, CONCRETE PAVERS AND FOUNTAIN
 EQUALS TO 74 SQUARE FEET.
 PERVIOUS AREA LANDSCAPING AND TURF BLOCKS EQUALS 1062 SQUARE FEET.
 INTERVIEWS SURFACE SQUARE FOOTAGE: 94528

LOT COVERAGE

LOT SIZE:	10500 SQ.FT.
HOUSE:	2808 SQ.FT.
GARAGE:	900 SQ.FT.
TOTAL:	3708 SQ.FT.
LOT COVERAGE:	35.23%
ADD ALL AREAS UNDER ROOF:	
CALIF. ROOM:	208 SQ.FT.
PORCH:	55 SQ.FT.
COVERED PATIO:	240 SQ.FT.
TOTAL FOOTPRINT:	4911 SQ.FT.
LOT COVERAGE:	46.91%

FLOOR PLAN

LINEA:	2808 SQ.FT.
GARAGE:	900 SQ.FT.
PORCH:	55 SQ.FT.
CALIF. ROOM:	208 SQ.FT.
COVERED PATIO:	240 SQ.FT.
TOTAL LINEA:	2808 SQ.FT.
TOTAL ROOFED AREA:	4355 SQ.FT.

SQUARE FOOTAGE:

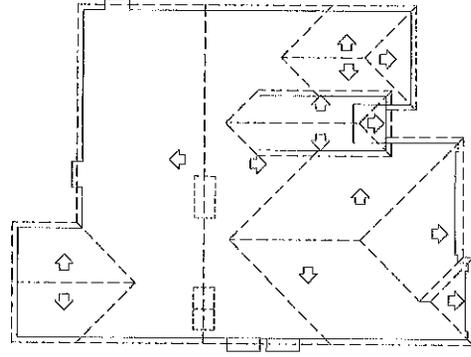
1. PAVES DRIVE WAY PER LANDSCAPE PLAN
2. CONCRETE ROLLED CURB AND GUTTER VORWER
3. EXISTING SCREEN WALL TO REMAIN.
4. LOCATION OF AC UNITS
5. 4' HIGH RETAINING WALL PER CITY STANDARDS WITH WROUGHT IRON ON PER CITY STANDARDS.
6. 6' HIGH SCREEN WALL PER CITY STANDARDS
7. 4' HIGH RETAINING WALL PER CITY STANDARDS
8. APPROXIMATE LOCATION FOR EXISTING UNDERGROUND UTILITY VALVES TO REMAIN.
9. BARBEQUE AND SEATING AREA PER LANDSCAPE PLAN. PROVIDE REQUIRED ELECTRIC, GAS, WATER AND DRAIN FOR ALL SELECTED APPLIANCES AND FIXTURES.
10. FIRE PIT PER LANDSCAPE PLAN. PROVIDE REQUIRED ELECTRIC AND GAS.
11. POOL LOCATION PER LANDSCAPE PLAN.
12. POOL EQUIPMENT LOCATION PER LANDSCAPE PLAN.
13. POOL EQUIPMENT SCREEN WALL AND RAILING LOCATION PER LANDSCAPE PLAN.
14. SPA LOCATION PER LANDSCAPE PLAN.
15. 10' HIGH SEAT WALL PER LANDSCAPE PLAN.
16. 5' HIGH SPA WALL PER LANDSCAPE PLAN.
17. WROUGHT IRON GATE PER LANDSCAPE PLAN.
18. MAILBOX LOCATION PER BEST CHOICE PRODUCTS CAST ALUMINUM HEAVY DUTY MAILBOX BLACK POSTAL BOX, DIM 46" TALL X 16.5" WIDE. CHU WALL MAX HEIGHT 42" AFF. PER LANDSCAPE PLAN.
19. CHU WALL MAX HEIGHT 30" AFF. PER LANDSCAPE PLAN.
20. TURF STONE DRIVE WAY PER LANDSCAPE PLAN.
21. WATER FEATURE PER LANDSCAPE PLAN.
22. STEPS AND CONCRETE WALK PER LANDSCAPE PLAN.
23. PLANTER PER LANDSCAPE PLAN.
24. GATE AND SCREEN WALL PER LANDSCAPE PLAN.

SITE NOTES:
 INDICATES NOTES APPLICABLE TO THIS PLAN ONLY WHEN REFERENCED.



ELEVATIONS

DESIGN ASSISTANT: PEGGY HENNING, CHRISTOPHER KOSKOSKI
 PROJECT NO: 24-001



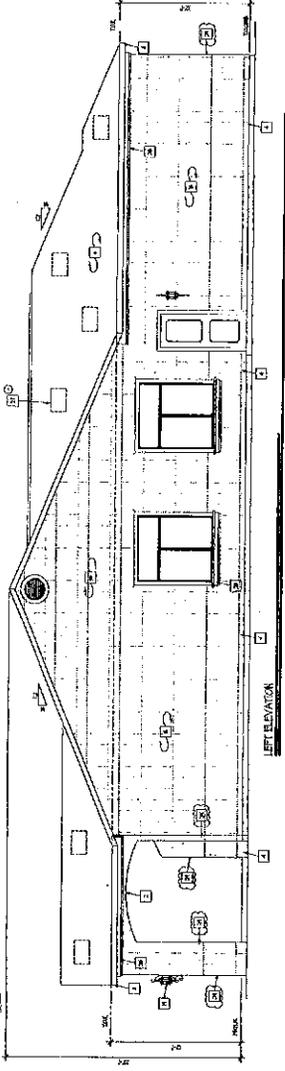
ROOF PLAN
 SCALE: 1/8" = 1'-0"

ELEVATION SCHEDULE

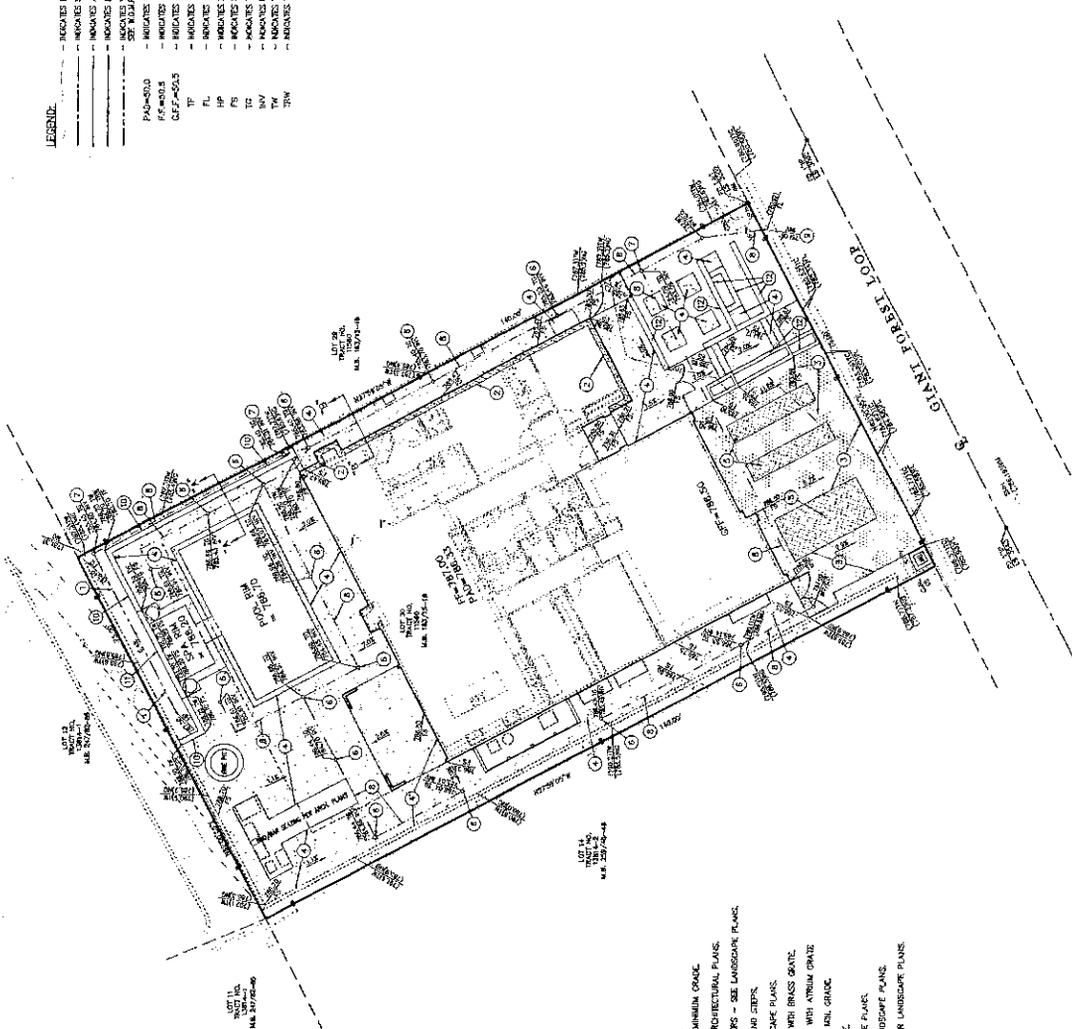
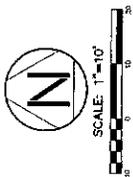
- 1. ROOF PLAN
- 2. LEFT ELEVATION
- 3. RIGHT ELEVATION
- 4. FRONT ELEVATION
- 5. REAR ELEVATION
- 6. SECTION 1-1
- 7. SECTION 2-2
- 8. SECTION 3-3
- 9. SECTION 4-4
- 10. SECTION 5-5
- 11. SECTION 6-6
- 12. SECTION 7-7
- 13. SECTION 8-8
- 14. SECTION 9-9
- 15. SECTION 10-10
- 16. SECTION 11-11
- 17. SECTION 12-12
- 18. SECTION 13-13
- 19. SECTION 14-14
- 20. SECTION 15-15
- 21. SECTION 16-16
- 22. SECTION 17-17
- 23. SECTION 18-18
- 24. SECTION 19-19
- 25. SECTION 20-20
- 26. SECTION 21-21
- 27. SECTION 22-22
- 28. SECTION 23-23
- 29. SECTION 24-24
- 30. SECTION 25-25
- 31. SECTION 26-26
- 32. SECTION 27-27
- 33. SECTION 28-28
- 34. SECTION 29-29
- 35. SECTION 30-30
- 36. SECTION 31-31
- 37. SECTION 32-32
- 38. SECTION 33-33
- 39. SECTION 34-34
- 40. SECTION 35-35
- 41. SECTION 36-36
- 42. SECTION 37-37
- 43. SECTION 38-38
- 44. SECTION 39-39
- 45. SECTION 40-40
- 46. SECTION 41-41
- 47. SECTION 42-42
- 48. SECTION 43-43
- 49. SECTION 44-44
- 50. SECTION 45-45
- 51. SECTION 46-46
- 52. SECTION 47-47
- 53. SECTION 48-48
- 54. SECTION 49-49
- 55. SECTION 50-50
- 56. SECTION 51-51
- 57. SECTION 52-52
- 58. SECTION 53-53
- 59. SECTION 54-54
- 60. SECTION 55-55
- 61. SECTION 56-56
- 62. SECTION 57-57
- 63. SECTION 58-58
- 64. SECTION 59-59
- 65. SECTION 60-60
- 66. SECTION 61-61
- 67. SECTION 62-62
- 68. SECTION 63-63
- 69. SECTION 64-64
- 70. SECTION 65-65
- 71. SECTION 66-66
- 72. SECTION 67-67
- 73. SECTION 68-68
- 74. SECTION 69-69
- 75. SECTION 70-70
- 76. SECTION 71-71
- 77. SECTION 72-72
- 78. SECTION 73-73
- 79. SECTION 74-74
- 80. SECTION 75-75
- 81. SECTION 76-76
- 82. SECTION 77-77
- 83. SECTION 78-78
- 84. SECTION 79-79
- 85. SECTION 80-80
- 86. SECTION 81-81
- 87. SECTION 82-82
- 88. SECTION 83-83
- 89. SECTION 84-84
- 90. SECTION 85-85
- 91. SECTION 86-86
- 92. SECTION 87-87
- 93. SECTION 88-88
- 94. SECTION 89-89
- 95. SECTION 90-90
- 96. SECTION 91-91
- 97. SECTION 92-92
- 98. SECTION 93-93
- 99. SECTION 94-94
- 100. SECTION 95-95
- 101. SECTION 96-96
- 102. SECTION 97-97
- 103. SECTION 98-98
- 104. SECTION 99-99
- 105. SECTION 100-100

ATTENUATION CALCULATIONS

NO.	DESCRIPTION	ATTEN [dB]	REFLECTANCE
1	ROOF	0.5	0.05
2	WALL	4.0	0.02
3	FLOOR	0.5	0.05
4	CEILING	0.5	0.05
5	DOOR	2.0	0.10
6	WINDOW	2.0	0.10
7	GLASS	0.5	0.05
8	SCREEN	0.5	0.05
9	SHUTTER	0.5	0.05
10	BLIND	0.5	0.05
11	SLAT	0.5	0.05
12	PERGOLA	0.5	0.05
13	SCREEN	0.5	0.05
14	SHUTTER	0.5	0.05
15	BLIND	0.5	0.05
16	SLAT	0.5	0.05
17	PERGOLA	0.5	0.05
18	SCREEN	0.5	0.05
19	SHUTTER	0.5	0.05
20	BLIND	0.5	0.05
21	SLAT	0.5	0.05
22	PERGOLA	0.5	0.05
23	SCREEN	0.5	0.05
24	SHUTTER	0.5	0.05
25	BLIND	0.5	0.05
26	SLAT	0.5	0.05
27	PERGOLA	0.5	0.05
28	SCREEN	0.5	0.05
29	SHUTTER	0.5	0.05
30	BLIND	0.5	0.05
31	SLAT	0.5	0.05
32	PERGOLA	0.5	0.05
33	SCREEN	0.5	0.05
34	SHUTTER	0.5	0.05
35	BLIND	0.5	0.05
36	SLAT	0.5	0.05
37	PERGOLA	0.5	0.05
38	SCREEN	0.5	0.05
39	SHUTTER	0.5	0.05
40	BLIND	0.5	0.05
41	SLAT	0.5	0.05
42	PERGOLA	0.5	0.05
43	SCREEN	0.5	0.05
44	SHUTTER	0.5	0.05
45	BLIND	0.5	0.05
46	SLAT	0.5	0.05
47	PERGOLA	0.5	0.05
48	SCREEN	0.5	0.05
49	SHUTTER	0.5	0.05
50	BLIND	0.5	0.05
51	SLAT	0.5	0.05
52	PERGOLA	0.5	0.05
53	SCREEN	0.5	0.05
54	SHUTTER	0.5	0.05
55	BLIND	0.5	0.05
56	SLAT	0.5	0.05
57	PERGOLA	0.5	0.05
58	SCREEN	0.5	0.05
59	SHUTTER	0.5	0.05
60	BLIND	0.5	0.05
61	SLAT	0.5	0.05
62	PERGOLA	0.5	0.05
63	SCREEN	0.5	0.05
64	SHUTTER	0.5	0.05
65	BLIND	0.5	0.05
66	SLAT	0.5	0.05
67	PERGOLA	0.5	0.05
68	SCREEN	0.5	0.05
69	SHUTTER	0.5	0.05
70	BLIND	0.5	0.05
71	SLAT	0.5	0.05
72	PERGOLA	0.5	0.05
73	SCREEN	0.5	0.05
74	SHUTTER	0.5	0.05
75	BLIND	0.5	0.05
76	SLAT	0.5	0.05
77	PERGOLA	0.5	0.05
78	SCREEN	0.5	0.05
79	SHUTTER	0.5	0.05
80	BLIND	0.5	0.05
81	SLAT	0.5	0.05
82	PERGOLA	0.5	0.05
83	SCREEN	0.5	0.05
84	SHUTTER	0.5	0.05
85	BLIND	0.5	0.05
86	SLAT	0.5	0.05
87	PERGOLA	0.5	0.05
88	SCREEN	0.5	0.05
89	SHUTTER	0.5	0.05
90	BLIND	0.5	0.05
91	SLAT	0.5	0.05
92	PERGOLA	0.5	0.05
93	SCREEN	0.5	0.05
94	SHUTTER	0.5	0.05
95	BLIND	0.5	0.05
96	SLAT	0.5	0.05
97	PERGOLA	0.5	0.05
98	SCREEN	0.5	0.05
99	SHUTTER	0.5	0.05
100	BLIND	0.5	0.05



LEFT ELEVATION



CONSTRUCTION NOTES:

- 1) CONSTRUCT DRAINAGE SWALE AT 10% MINIMUM GRADE.
- 2) CONSTRUCT REINFORCED FOOTING PER ARCHITECTURAL PLANS.
- 3) INSTALL INTERLOCKING CONCRETE PAVING - SEE LANDSCAPE PLANS.
- 4) INSTALL 4" THICK CONCRETE PAVING AND CURBS.
- 5) INSTALL TURFSTONE PER - SEE LANDSCAPE PLANS.
- 6) INSTALL 4" INS SPEX-D CATCH BASIN WITH BRASS GRATE.
- 7) INSTALL 4" INS SPEX-D CATCH BASIN WITH ATRUM GRATE.
- 8) INSTALL 4" PAVE. MANHOLE PIPE AT 1% SLOPE GRADE.
- 9) CURB DOWN PIPE THROUGH CURB FACE.
- 10) CONSTRUCT "ST" WALL PER LANDSCAPE PLANS.
- 11) CONSTRUCT DECORATIVE WALL PER LANDSCAPE PLANS.
- 12) GARDEN WALL/LANDSCAPE FEATURE PER LANDSCAPE PLANS.

Underground Service Alert
 Call: TOLL FREE 811
 www.811illinois.com
 THE WORKING TOGETHER logo

CITY OF CHINO HILLS
 ENGINEERING DEPARTMENT
 14000 THE CENTER DRIVE
 CHINO HILLS, CA 91709
 TEL: (909) 384-2700
 www.chinohills.org

BENCH MARK:
 SEE COUNTY BENCHMARK NO. 1244-C
 ELEVATION = 6925.05 (MAY 08)
 BENCH MARK CHECKED "X" AT THE
 LOCATION IN 8/09. SEE TABLE 15
 OF REGULATIONS AND PAVEMENT DRIVE
 DATA BERNARDINO, CALIFORNIA

BASIS OF BEARINGS:
 ALL BEARINGS ARE TO THE CENTERLINE OF GIGANT
 STREET. LOCAL BEARINGS IN SET
 POINTS ARE TO THE CENTERLINE OF
 GIGANT STREET. ALL BEARINGS ARE
 REFERENCED TO BENCH MARK 15
 DATA BERNARDINO, CALIFORNIA



SIE TECH INC.
 14000 THE CENTER DRIVE, SUITE 100
 CHINO HILLS, CA 91709
 TEL: (909) 384-2700
 WWW.SIE-TECH.COM

REVISIONS

NO.	DATE	DESCRIPTION

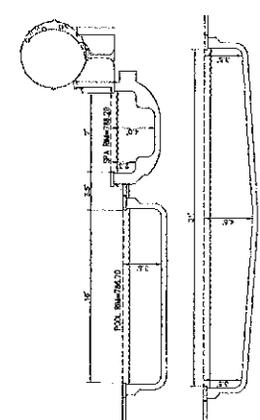
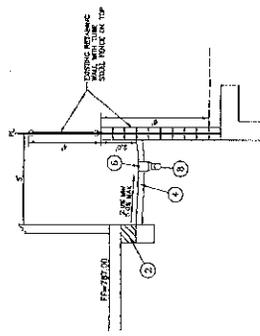
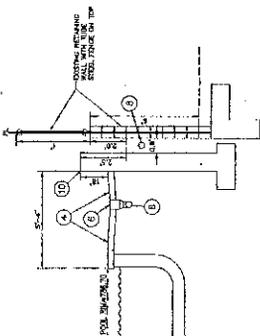
CITY OF CHINO HILLS
 ENGINEERING DEPARTMENT
 14000 THE CENTER DRIVE
 CHINO HILLS, CA 91709
 TEL: (909) 384-2700
 WWW.CITYOFCHINOHILLS.ORG

PROJECT INFORMATION

PROJECT NO.	
DATE	
PROJECT NAME	PRECISE GRADING PLAN
CLIENT	FEITH RESIDENCE
LOCATION	GIANT FOREST LOOP

SHEET 2 OF 3

- LEGEND:**
- - - - - INDICATES EXISTING CENTERLINE
 - - - - - INDICATES ALLEYS PROPERTY LINE
 - - - - - INDICATES PARCEL PROPERTY LINE
 - - - - - INDICATES REVEALED GRADE
 - - - - - SEE "ADD" FOR DETAILS
 - - - - - INDICATES PAVE ELEVATION
 - - - - - INDICATES FINISH FLOOR ELEVATION
 - - - - - INDICATES GRADE FINISH FLOOR ELEVATION
 - - - - - INDICATES FINISH GRADE
 - - - - - INDICATES CURB ELEVATION
 - - - - - INDICATES HIGH POINT
 - - - - - INDICATES FINISH SURFACE
 - - - - - INDICATES TOP OF GRADE
 - - - - - INDICATES PIPE INVERT ELEVATION
 - - - - - INDICATES TOP OF WALL
 - - - - - INDICATES TOP OF RETAINING WALL
- PAVEMENTS:**
 PAVEMENT TYPE
 PAVEMENT TYPE
 PAVEMENT TYPE
- FINISHES:**
 FINISH TYPE
 FINISH TYPE
 FINISH TYPE



POOL/SPA SECTIONS
 SCALES: 1\"/>

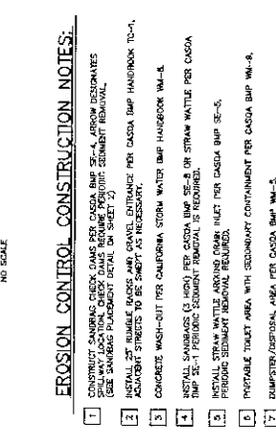
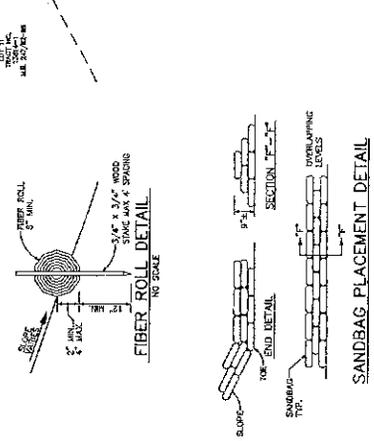
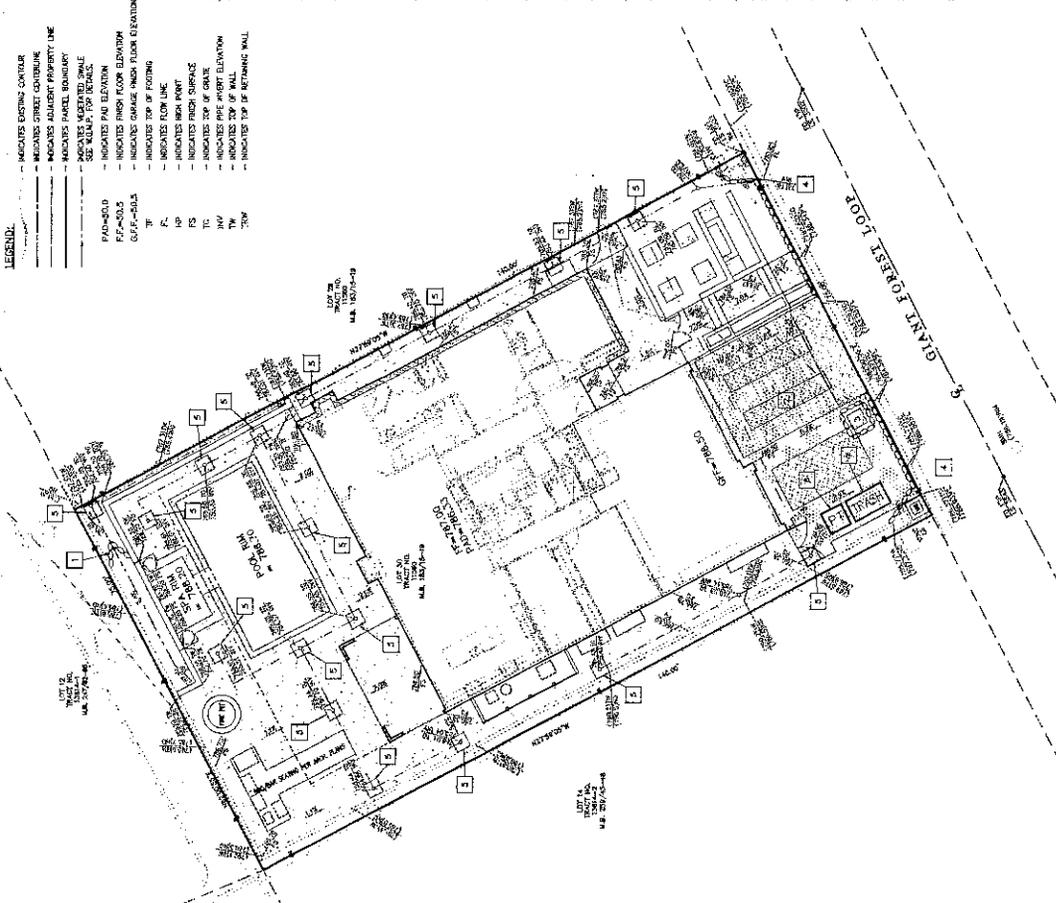
SEE LANDSCAPE PLANS FOR MORE DETAIL AND INFORMATION



- LEGEND:**
- - - - - INDICATES EXISTING CONTOUR
 - - - - - INDICATES STREET CENTERLINE
 - - - - - INDICATES ADJACENT PROPERTY LINE
 - - - - - INDICATES PARCEL BOUNDARY
 - - - - - INDICATES EASEMENT
 - - - - - INDICATES 30' SETBACK
 - - - - - INDICATES PAID ELEVATION
 - - - - - INDICATES FIRST FLOOR ELEVATION
 - - - - - INDICATES CHANGE UNDER FLOOR ELEVATION
 - - - - - INDICATES TOP OF FOOTING
 - - - - - INDICATES FLOW LINE
 - - - - - INDICATES HIGH POINT
 - - - - - INDICATES FRESH SURFACE
 - - - - - INDICATES PREPARED SURFACE
 - - - - - INDICATES TOP OF WALL
 - - - - - INDICATES TOP OF RETAINING WALL
- SYMBOLS:**
- FAD-BOLD FAD-BOLD
 - FF-BOLD FF-BOLD
 - GF-BOLD GF-BOLD
 - IF IF
 - F F
 - HP HP
 - FS FS
 - TS TS
 - TM TM

EROSION CONTROL GENERAL NOTES:

1. EROSION CONTROL SHALL BE REQUIRED FOR GRADING OPERATIONS DURING THE BARRY BEACH, OCTOBER 20TH THROUGH APRIL 20TH.
2. SLOPES CONSTRUCTED PRIOR TO OCTOBER 20TH SHALL BE TREATED FOR EROSION CONTROL PRIOR TO OCTOBER 15TH. SLOPES CONSTRUCTED AFTER OCTOBER 15TH SHALL BE TREATED FOR EROSION CONTROL AS CONSTRUCTION PROGRESSES.
3. THE DESIGN CHAL ENGINEER SHALL SUPERVISE AND ASSURE EROSION CONTROL WORK IS IN ACCORDANCE WITH THE APPROVED PLANS.
4. IN CASE OF EMERGENCY, CALL:
 - (RESPONSIBLE PERSON)
 - (PHONE NUMBER)
 - (OR HOUR TELEPHONE)
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR AND SHALL MAINTAIN THE PROGRESS OF IMPROVING WATER ON PUBLIC AREAS OF THE CREATION OF HAZARDOUS CONDITIONS.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR AND SHALL MAINTAIN THE PROGRESS OF IMPROVING WATER ON PUBLIC AREAS OF THE CREATION OF HAZARDOUS CONDITIONS.
7. NO CHANGES TO EXISTING OR NEWLY CONSTRUCTED SLOPES SHALL BE PERMITTED DURING THE BARRY BEACH UNLESS THE APPROVED CHANGE PALETTE HAS BEEN COMPLETED.
8. GRADING AND OPERATIONS SHALL BE LIMITED TO AREAS THAT WILL BECOME IMPROVING DRAINAGE DURING THE BARRY BEACH. OPERATIONS SHALL BE LIMITED TO AREAS THAT WILL BECOME IMPROVING DRAINAGE DURING THE BARRY BEACH. OPERATIONS SHALL BE LIMITED TO AREAS THAT WILL BECOME IMPROVING DRAINAGE DURING THE BARRY BEACH.
9. GRADING SHALL BE CONSTRUCTED AS INDIVIDUAL INDIAN GRADING AREAS ARE COMPLETED.
10. GRADED AREAS AROUND THE TRACT PERIMETER SHALL DRAIN AWAY FROM THE TOP OF SLOPES AT THE CONCLUSION OF EACH PHASING PLAN.
11. TEMPORARY EROSION PROTECTION SHALL BE REQUIRED FOR MANUFACTURED SLURRIES PRIOR TO PERMANENT PLANTING.
12. THE DESIGN CHAL ENGINEER SHALL BE RESPONSIBLE FOR AND SHALL MAINTAIN THE PROGRESS OF IMPROVING WATER ON PUBLIC AREAS OF THE CREATION OF HAZARDOUS CONDITIONS.
13. PROJECT AREAS AS WELL AS REGRADING PROPERTY AREAS SHALL REMAIN THE ACCESS AT ALL TIMES.
14. COMMENTS AND REVISIONS TO THE BARRY BEACH SHALL BE AVAILABLE AT ALL TIMES DURING THE BARRY BEACH.
15. REMEDIATION OPERATIONS SHALL BE LIMITED TO AREAS THAT WILL BECOME IMPROVING DRAINAGE DURING THE BARRY BEACH.
16. SERVICES SHALL NOT BE MOVED OR ACCEPTED WITHOUT APPROVAL FROM THE CITY ENGINEER OR PUBLIC WORKS INSPECTOR.
17. AFTER A BARRIAGE, SILT AND DEBRIS SHALL BE REMOVED FROM CHECK DAMS, SILT TRAPPS AND OTHER IMPACTED AREAS.
18. AN UPDATED COPY OF THIS PLAN SHALL BE KEPT AVAILABLE TO THE CITY AT THE PROJECT SITE.
19. INFORMATION ON THIS PLAN IS FOR EROSION CONTROL ONLY. THE CITY ENGINEER MAY ADOPT THIS PLAN AS NECESSARY.
20. APPROVAL OF THIS PLAN SHALL NOT WAIVE THE CONTRACTOR'S RESPONSIBILITIES TO HIS CITY OR ADJACENT PROPERTY OWNERS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR AND SHALL MAINTAIN THE PROGRESS OF IMPROVING WATER ON PUBLIC AREAS OF THE CREATION OF HAZARDOUS CONDITIONS.
21. APPROVAL OF THIS PLAN SHALL NOT WAIVE THE LIABILITY OF THE RESPONSIBILITY FOR THE CONNECTION OF EROSION AREAS AND OPERATIONS DISCOVERED DURING CONSTRUCTION UPON REQUEST, THE REQUIRED REVISIONS SHALL BE SUBMITTED FOR APPROVAL.



EROSION CONTROL CONSTRUCTION NOTES:

1. CONDUCT SANDBAG CHECKS PER CADA BMP 5E-4, ARROW INDICATES (SEE SANDBAG PLACEMENT DETAIL ON SHEET 21).
2. INSTALL 3\"/>
3. CONCRETE WASH-OUT PER CALIFORNIA STORM WATER BMP HANDBOOK 10-4.
4. INSTALL SANDBAGS (LINED) PER CADA BMP 5E-8 OR STRAW MATS PER CADA BMP 5E-4.
5. INSTALL STRAW MATS AROUND DRAIN INLET PER CADA BMP 5E-5.
6. PORTABLE TOILET AREA WITH SECONDARY CONTAINMENT PER CADA BMP 10-4.
7. REMEDIATION/RESTORATION AREA PER CADA BMP 10-4.

Underground Services Alert

Call: 811

WAKAY COLLEGE

NO OTHER DATA BEYOND THIS DATE

CITY OF CHINO HILLS
ENGINEERING DEPARTMENT
14000 CITY CENTER DRIVE
CHINO HILLS, CA 91709
PHONE: (909) 342-2228
FAX: (909) 342-2228
www.chinohills.org

BENCH MARK:
S.B. COUNTY BENCHMARK NO. 124-C
ELEVATION = 692.005 (HAND 80)
BENCH MARK CHECKED BY AT THE WEST SIDE OF THE INTERSECTION THROUGH THE MAIN COURTYARD OF CHINO HILLS, CALIFORNIA.

BASIS OF BEARINGS:
THE BASIS OF BEARINGS OF THIS PLAN IS THE BENCH MARK BEARING OF 152° 15' 00\"/>

SITE/TECH INC.
10000 CITY CENTER DRIVE
CHINO HILLS, CA 91709
PHONE: (909) 342-2228
FAX: (909) 342-2228
www.chinohills.org

DATE: 01/20/2017
BY: [Signature]

CITY OF CHINO HILLS
ENGINEERING DEPARTMENT
14000 CITY CENTER DRIVE
CHINO HILLS, CA 91709
PHONE: (909) 342-2228
FAX: (909) 342-2228
www.chinohills.org

DATE: 01/20/2017
BY: [Signature]

EROSION CONTROL PLAN AND GENERAL NOTES
FEITH RESIDENCE
GIANT FOREST LOOP

DATE: 01/20/2017
BY: [Signature]

SHEET 3 OF 3

GENERAL NOTES

- RULES AND REGULATIONS AND ARCHITECTURAL GUIDELINES AS SET FORTH IN THE H.O.A. AS PART OF GENERAL CONDITIONS FOR THIS PROJECT.
- IMPROVEMENTS FOR THESE PLANS SHALL COMPLY WITH THE REQUIREMENTS IN THE CALIFORNIA CIVIL CODE, THE CALIFORNIA FIRE DEPARTMENT REGULATIONS, THE CALIFORNIA PLANNING AND BUILDING DEPARTMENT REQUIREMENTS, THE CITIES LAND USE AND DEVELOPMENT CODE.
- ALL REQUIRED SETBACKS SHALL BE ADHERED TO AS SET FORTH WITHIN THE CC AND R'S AND DETERMINED BY THE CITY APPROVING DEPARTMENT. SPECIFIC TO THESE VARIOUS REQUIREMENTS.
- FRONT YARD SETBACK 25 FEET. NO AVENUE WITHIN THIS SETBACK SHALL EXCEED 6' IN HEIGHT.
- SIDE YARD SETBACK 5 FEET MINIMUM FROM TOP OR TOE OF SLOPE.
- REAR YARD SETBACK 5 FEET MINIMUM FROM PROPERTY LINE.
- LOT COVERAGE (PAV) 80 PERCENT OF THE GRADED PAD.
- CONTRACTOR RESPONSIBILITY.
- SITE CONDITIONS
- VERIFY EXISTING SITE CONDITIONS AND PLAN CONFORMANCE.
- OCCUPATIONAL SAFETY AND HEALTH ACT (OSHA) COMPLIANCE
- ALL APPLICABLE OSHA REGULATIONS AND SUBELINES MUST BE STRICTLY OBSERVED AT ALL TIMES.

NOTE:

- RIGHT AWAY IS 1.5 SQUARE FEET.
- IMPERVIOUS AREA, DRIVE IN PAVK, CONCRETE PAVERS AND FOUNTAIN EQUIATE 741 SQUARE FEET
- IMPERVIOUS AREA, LANDSCAPING AND TURF BLOCKS EQUIATE 1062 SQUARE FEET



THE SEAL OF THE PROFESSIONAL ENGINEER IS TO BE KEPT IN THE OFFICE OF THE ENGINEER AT ALL TIMES. IT IS TO BE PRODUCED FOR INSPECTION BY ANY PERSON AT ANY TIME. IT IS TO BE KEPT IN THE OFFICE OF THE ENGINEER AT ALL TIMES. IT IS TO BE PRODUCED FOR INSPECTION BY ANY PERSON AT ANY TIME.

LAND DESIGN
LANDSCAPE ARCHITECTURE
IRVINE AND OPEN SPACE PLANNING

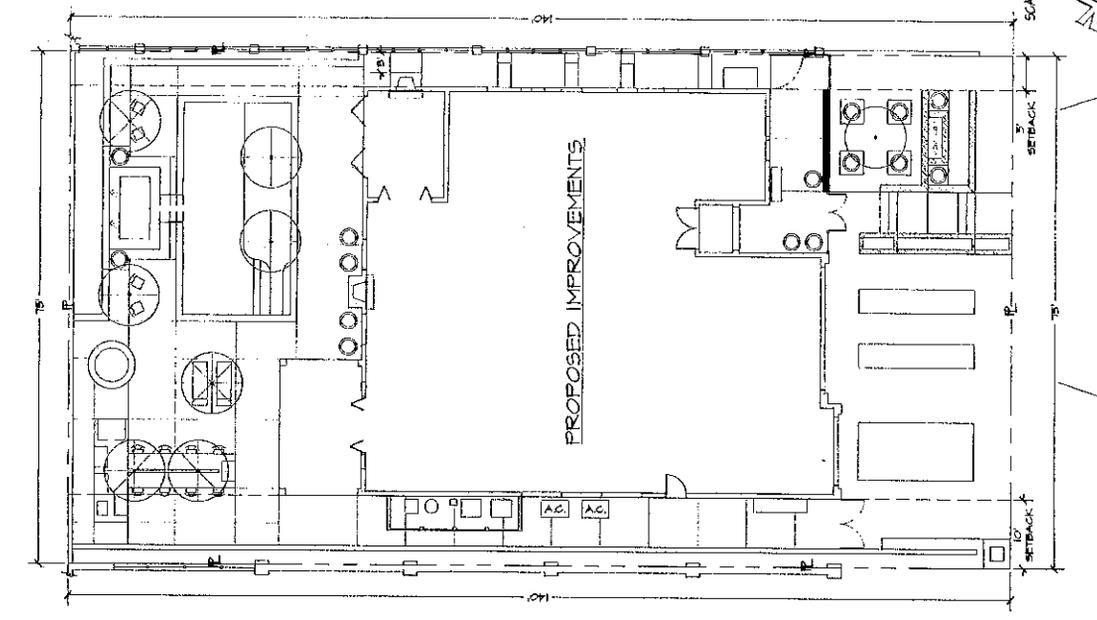
D Rodney Tapp
12515 Bonaventure Street
Suite A
Pomona, CA 91766
(909) 221-1172

NO.	DATE	REVISION

TITLE SHEET
DATE: H-2011
L-1
L-2
L-3
L-4
DRAWN BY: F.B.
ALLEN &
FEITH RESIDENCE NAME
3104 GIANT FOREST LOOP
CHINO HILLS, CA 91710

DATE: H-2011
L-1
L-2
L-3
L-4
DRAWN BY: F.B.
ALLEN &
FEITH RESIDENCE NAME
3104 GIANT FOREST LOOP
CHINO HILLS, CA 91710

LI OF L4



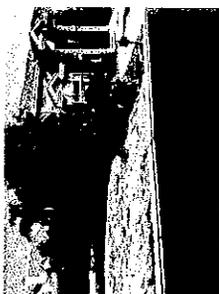
SCALE NTS.

NORTH WEST VIEW

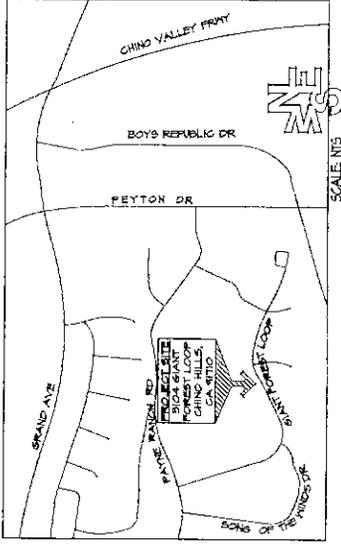
NORTH EAST VIEW



NORTH WEST VIEW



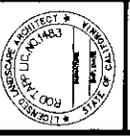
NORTH EAST VIEW



VICINITY MAP

SHEET INDEX

- L-1 TITLE
- L-2 DESIGN PLAN & PLANTING PLAN
- L-3 IRRIGATION PLAN & LIGHTING PLAN
- L-4 CONSTRUCTION DETAILS



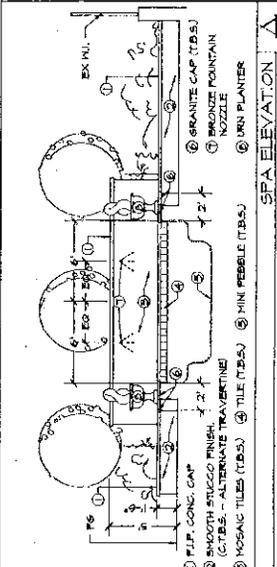
THESE DRAWINGS AND SPECIFICATIONS SHALL NOT BE USED FOR ANY OTHER PROJECTS WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT. ANY CHANGES TO THESE DRAWINGS SHALL BE MADE BY THE ARCHITECT. THESE DRAWINGS ARE THE PROPERTY OF LANDSCAPE ARCHITECTURE AND SHALL BE KEPT IN THE ARCHITECT'S OFFICE. ANY OTHER COPIES OR REPRODUCTIONS SHALL BE MADE AT THE USER'S RISK AND WITHOUT LIABILITY TO THE ARCHITECT.

LAND DESIGN
 LANDSCAPE ARCHITECTURE
 3104 GIANT FOREST LOOP
 CHINO HILLS, CA 91710
 PHONE: (909) 252-1478
 WWW.LANDDESIGN.COM

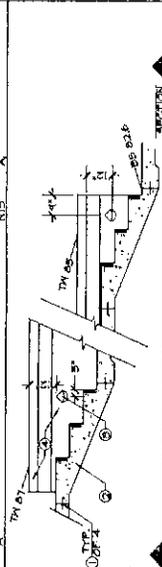
NO.	DATE	REVISION

CONSTRUCTION DETAILS
 FETH RESIDENCE
 3104 GIANT FOREST LOOP
 CHINO HILLS, CA 91710

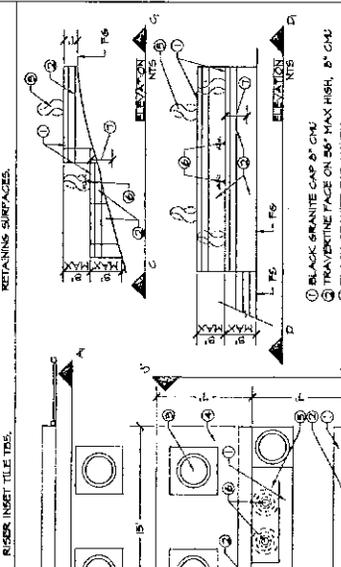
DATE: 10-20-21
 DRAWING NO.: L4 OF L4



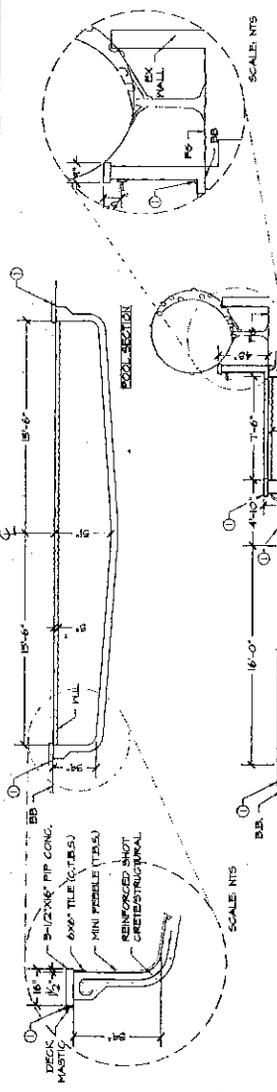
- SPA ELEVATION A**
 SCALE: 1/4"=1'-0"
- BRASS LEVER HANDLE
 - 1/2" x 1/4" SS RAILS PANEL/OWNER APPROVAL BRONZE COLOR, METALLIZE ALL STEEL
 - BUTT RING AND DROP PIN
 - PROVIDE SHOP DRAWINGS TO MANUFACTURER FOR PANEL FINISH APPROVAL
 - BLACK GRANITE CAP
 - TRAVERTINE MALL FACE
 - 1/2" x 1/4" BLACK M.I. PLANT ESPALLER (1/4" x 1/4" x 1/4" SQUARE)



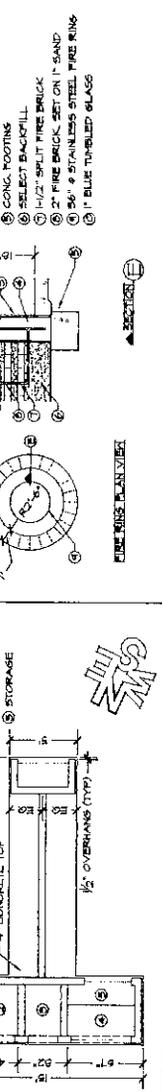
- ELEVATION B**
- 6" THICKENED CONG. EDGE W/ 1/4" DOBBELS
 - 1/2" x 1/4" COLORED SAND FINISH CONCRETE TIE
 - 1/2" x 1/4" CONG. STEPS 18" WIDE x 4" RISEK FINISH TO MATCH CONG. SURFACE RISER INSET TILE TIE
 - LIGHT LOCATION, SEE LIGHTING PLAN FOR FUTURE TYPE BRONZE FINISH
 - MALL HAS 3/4" x 3/4" x 1/4" CHAL REINFORCED PER MATCH BUILDING WATER MEMBRANE ON ALL RETAINING SURFACES



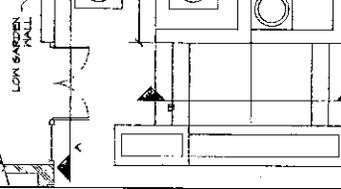
- FOUNTAIN/PLANTER/STEP DETAIL**
 SCALE: 1/4"=1'-0"
- BLACK GRANITE CAP 8" CHU
 - TRAVERTINE FACE ON 8" MAX HIGH, 8" CHU
 - BLACK GRANITE PAD IN URN
 - PLANTER & TOPARY PLANTING (P)
 - PLANTING
 - MIDNIGHT MINI PEBBLE POOL WATER MEMBRANE
 - BRONZE FOUNTAIN NOZZLE (Z)
 - MAX WATER DEPTH 16"



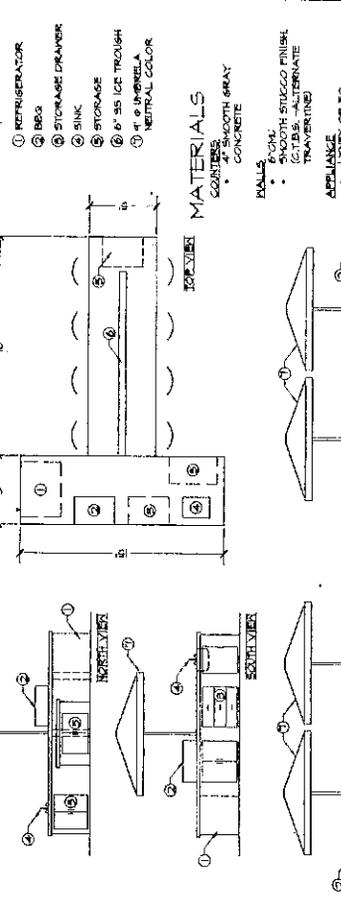
- POOL AND SPA DETAIL C**
 SCALE: 1/4"=1'-0"
- 3/4" x 1/2" PIP GRAY CONG. CAP
 - 6AS SET W/ SHUT OFF VALVE
 - SMOOTH STUCCO FINISH
 - STUCCO - ALTERNATE TRAVERTINE
 - 8" CHU BLOCK GROUT SOLID
 - CONG. FOOTING
 - SELECT BACKFILL
 - 1/2" x 1/2" SPLIT FIRE BRICK
 - 2" FIRE BRICK SET ON 1" SAND
 - 8" x 8" STAINLESS STEEL FIRE RING
 - 1" BLUE TUMBLER GLASS



- FIRE RISE PLAN VIEW**



- FIRE RING PLAN AND SECTION D**
 SCALE: 1/4"=1'-0"
- REFRIGERATOR
 - BBQ
 - STORAGE DRAWER
 - SINK
 - STORAGE
 - 8" x 8" ICE TROUGH
 - 1" x 1" x 1/4" INTRINELA NEUTRAL COLOR



- DINING AND FOOD SERVICE AREA E**
 SCALE: 1/4"=1'-0"
- MATERIALS**
- COUNTERS: SMOOTH GRAY CONCRETE
- MALLS: SMOOTH STUCCO FINISH (STUCCO - ALTERNATE TRAVERTINE)
- APPLIANCE: LITEN OR 8" x 8" STAINLESS STEEL



FEITH RESIDENCE COLOR BOARD

3104 Giant Forest Loop, Payne Ranch

White limestone large bricks/blocks with custom moldings of same material on all 4 sides

FOAM CONCEPTS INC. Request Information! 888-693-1037

Home Products Geofoam About Us Catalogs Contact Us

Colors and Textures

Veristone colors have been developed to depict natural cut stone. Both natural and synthetic iron oxide colorants are added to the limestone blend to produce a remarkable color palette ranging from true limestone to delicate pastel yellows to foggy grays. Veristone colors are integral therefore they are blended consistently throughout the exterior coating. As a result Veristone products withstand scratches, nicks, and abrasions requiring no touch-ups to maintain a beautiful finish for years. Veristone finished products require no additional color application or painting for the life of the product. Veristone products are hand made and ground, and can be ordered in choice of Honed (smooth), Rustic (lightly textured), and Travertine (rough) textures.



- Residential Limestone Gallery
- Commercial Limestone Gallery
- Stone Styles
- Colors and Textures



White stucco eaves



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Droplets
DEW381
LRV 83

Black entry doors, wrought iron, and Pella casement windows



Charcoal gray flat concrete roof tile



214

Exhibit "C"

**FEITH RESIDENCE
CUSTOM HOME DESIGN REVIEW NO. 443
3104 GIANT FOREST LOOP
HOA APPROVAL**

Payne Ranch Estates H.O.A.

A California nonprofit, mutual benefit corporation
c/o Vintage Management Consultants
1235 East Francis Street, Suite E.
Ontario, CA 91761
Phone: 909-923-2924

November 18, 2016

Richard Feith
Kimberly Feith
14034 Evening Primrose Pl.
Chino Hills CA 91709

Property Address 3104 Giant Forest Loop Chino Hills CA 91709
Account Number: 1730

-- NOTICE OF APPROVED HOME IMPROVEMENT --

Dear Homeowner(s):

The Board of Directors of Payne Ranch Estates H.O.A. is continually striving to make our community more aesthetically pleasing. In order to achieve this we need the interest and support of the owners and residents.

Your Home Improvement request as been approved. Specifically, you have approval to proceed with the following:

DESCRIPTION: New 4,535 sq. foot residence design plans have been approved as submitted.

The Board of Directors reserves the right to make a final inspection of the change to make sure it matches the Home Improvement for that was submitted for approval. Please follow the plan you submitted or submit an additional Home Improvement Form if you cannot follow the original approved plan.

Depending on the type of improvement you may need a Building Permit. Homeowners must follow all local building codes and setback requirements, please contact the City for more information on Building Permits.

Should you have any further questions or concerns regarding this correspondence, please contact Vintage Management Consultants at 909-923-2924 ext.: 110 or PayneRanchEstates@vintagemanagement.com.

Sincerely,

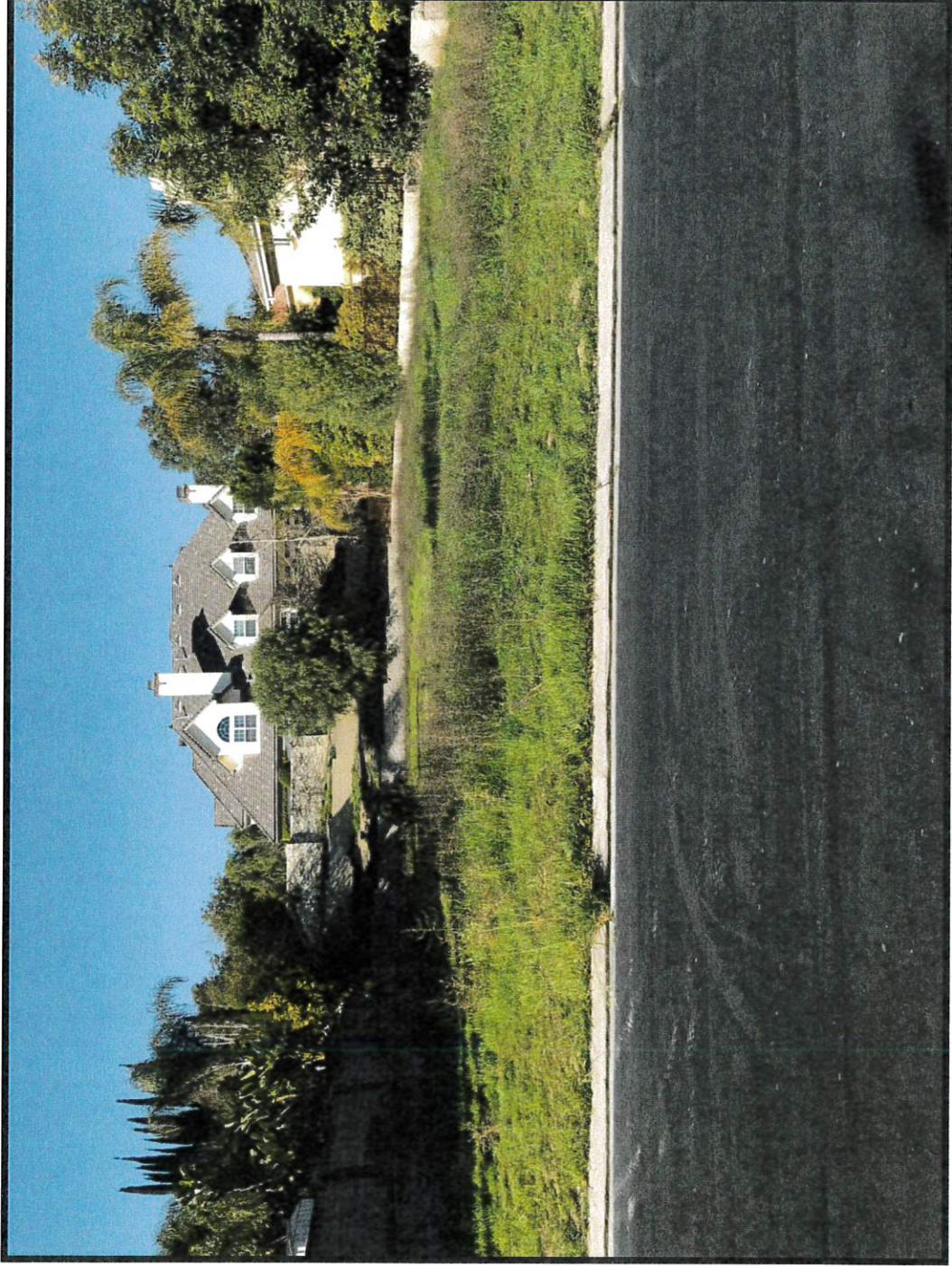
The Board of Directors,
Payne Ranch Estates H.O.A.

Exhibit "D"

**FEITH RESIDENCE
CUSTOM HOME DESIGN REVIEW NO. 443
3104 GIANT FOREST LOOP
PHOTO OF PROJECT SITE**



**FEITH RESIDENCE
CUSTOM HOME DESIGN REVIEW NO. 443
3104 GIANT FOREST LOOP
PHOTO OF PROJECT SITE**



**FEITH RESIDENCE
CUSTOM HOME DESIGN REVIEW NO. 443
3104 GIANT FIREST LOOP
SURROUNDING PROPERTY PHOTOS**



13971 Break of Day Court

Exhibit "F"

**FEITH RESIDENCE
CUSTOM HOME DESIGN REVIEW NO. 443
3104 GIANT FIREST LOOP
SURROUNDING PROPERTY PHOTOS**



14039 Night Song Court

Exhibit "F"

**FEITH RESIDENCE
CUSTOM HOME DESIGN REVIEW NO. 443
3104 GIANT FIREST LOOP
SURROUNDING PROPERTY PHOTOS**



3092 Giant Forest Loop

Exhibit "F"

**FEITH RESIDENCE
CUSTOM HOME DESIGN REVIEW NO. 443
3104 GIANT FIREST LOOP
SURROUNDING PROPERTY PHOTOS**



3116 Giant Forest Loop

Exhibit "F"

AFFIDAVIT OF MAILING

STATE OF CALIFORNIA)
COUNTY OF SAN BERNARDINO) ss.
CITY OF CHINO HILLS)

I, Michael Hofflinger, do hereby certify before the Planning Commission of the City of Chino Hills that a copy of the Public Meeting Notice for Custom Home Design Review No. 443 was mailed to each and every person set forth on the attached list on the 26th of January 2017. A copy of said Notice is attached hereto. Mailing of this document was completed by placing a copy of said document in an envelope, with postage prepaid, and depositing same in the U.S. Mail at Chino Hills, California.

I declare under penalty of perjury that the foregoing is true and correct.

Dated at Chino Hills, California, this 26th of January 2017.



Michael Hofflinger, Associate Planner

PUBLIC MEETING NOTICE

NOTICE IS HEREBY GIVEN that the Planning Commission of the City of Chino Hills will hold a public meeting on Tuesday February 7, 2017, at 7:00 p.m., in the Council Chambers of the City Hall, 14000 City Center Drive, Chino Hills, CA, to consider the following project.

CASE NO.: Custom Home Design Review
No. 443

**APPLICANT/
OWNER:** Kimberly Feith
100 N. Citrus Ave STE 435
West Covina, CA 91791

PROPOSAL: A request from Kimberly Feith for the approval of Custom Home Design Review No. 443 for the construction of a one-story single family residence consisting of 2,808 square feet of habitable space and a 900-square foot three-car garage.

LOCATION: 3104 Giant Forest Loop

A.P.N.: 1024-061-25



VICINITY MAP

(Orange outline indicates project site; top of map is north)

ENVIRONMENTAL REVIEW: A determination has been made that the proposed project is exempt from the provisions of the California Environmental Quality Act (CEQA) pursuant to Section 15303(a) New Construction or Conversion of Small Structures of the CEQA Guidelines because the project consists of the construction of an addition to only one single-family structure in a residential zoning district. Further, staff has determined with certainty that the project does not have the potential to cause a negative impact on the environment pursuant to CEQA Guidelines Section 15061(b)(3), the "common sense" exemption.

STAFF: Joann Lombardo, Community Development Director
Michael Hofflinger, Associate Planner

NOTICE IS HEREBY FURTHER GIVEN that if you challenge the above described project in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence delivered to the City at, or prior to, the public hearing.

ALL PERSONS INTERESTED are invited to be present at the public hearing. The proposed project application may be viewed Monday through Thursday, from 7:30 a.m. to 5:00 p.m. and Friday from 7:30 a.m. to 4:00 p.m. in the Community Development Department, City Hall, 14000 City Center Drive, Chino Hills, California. Additional information regarding this project may be obtained from Michael Hofflinger, Assistant Planner, with the Community Development Department at (909) 364-2777 or mhofflinger@chinohills.org.


Signature: Michael Hofflinger, Associate Planner

CONTIGUOUS LABELS

Feith Family Trust
6159 Davidson St.
Chino, CA 91710

Feith Family Trust
6159 Davidson St.
Chino, CA 91710

Robert Rovira, Jr.
13979 Break of Day Court
Chino Hills, CA 91709

Ming Jinn Chen
13963 Break of Day Ct.
Chino Hills, CA 91709

Tan Family Trust
14039 Night Song Ct.
Chino Hills, CA 91709

Jaime Yi Lin Chao
3092 Giant Forest Loop
Chino Hills, CA 91709

Rhee Living Trust
3116 Giant Forest Loop
Chino Hills, CA 91709

Francisco Family Trust
13971 Break of Day CT
Chino Hills CA 91709

PLANNING COMMISSION AGENDA STAFF REPORT



Meeting Date: February 7, 2017

Public Hearing:
Discussion Item:
Consent Item:

January 31, 2017

Agenda Item No. 5e

TO: CHAIRMAN AND PLANNING COMMISSIONERS
FROM: JOANN LOMBARDO, COMMUNITY DEVELOPMENT DIRECTOR
SUBJECT: FINDING OF GENERAL PLAN CONFORMITY FOR THE TRANSFER OF NINE CITY OWNED PARCELS WITHIN THE LOWER LOS SERRANOS FLOOD CONTROL CHANNEL

RECOMMENDATION

Adopt the attached Resolution finding that the transfer of land and/or interests in four (4) parcels to the San Bernardino County Flood Control District and five (5) parcels to the State of California Department of Transportation (Caltrans) conforms with the Chino Hills General Plan and direct City staff to report this finding to the City Council pursuant to Government Code Section 65402, subdivision (a).

BACKGROUND/ANALYSIS

The Lower Los Serranos Channel was originally constructed in mid-1985 and was a joint endeavor between the County of San Bernardino Service Area 70, San Bernardino County Flood Control District (SBCFCD) and Caltrans. Permits were issued, and construction commenced thereafter.

On December 1, 1991, the City of Chino Hills (City) was incorporated, after which it then assumed Service Area 70 responsibilities within the City limits.

In 1992 the channel was completed and a punch list was developed for the channel improvements. The City began working to correct and finalize the channel construction so that all future maintenance responsibilities could then be assumed by the SBCFCD.

While staff who currently work for the City cannot verify all of the facts from the early years of the City's incorporation, we have pieced together a general understanding of what occurred as follows:

It was discovered that a portion of the concrete channel was constructed outside of existing SBCFCD right of way. This was also about the time that Caltrans began widening State Route 71. The City began to identify exactly which parcels were needed for the realigned channel. Discussions began regarding how to turn over the channel to the District for ownership and maintenance. Several

SUBJECT: GENERAL PLAN CONFORMANCE FINDING FOR THE FLOOD CONTROL LOWER LOS SERRANOS FLOOD CONTROL CHANNEL

smaller projects were initiated by the City at SBCFCD's request, including sediment and debris removal, concrete, road and fencing repairs, and installation of maintenance ramps to access the bottom of the outflow basin, all of which contributed to the long delay of turning over the excess parcels. The City was still working on these improvements as late as 2009.

Negotiations with the District were then stalled when a SBCFCD requirement was added that the City would need to certify the channel rip-rap as "Katrina" compliant. Little information was available on the channel, which by then was 20 years old and the ultimate turn-over of the right of way continued to lag.

In 2015, a renewed effort to transfer this land to the District and a joint effort between the City, Caltrans and Flood Control yielded all of the necessary land deeds between the three parties. On September 12, 2016, Caltrans signed a Director's Deed transferring their portion of the excess right of way to Flood Control.

The transfer of the City's portion of excess right of way is now ready for City Council's consideration. In order to complete this transfer, the City Planning Commission needs to make a conformity finding. Section 65402, subdivision (a) of the Government Code provides as follows:

"If a general plan or part thereof has been adopted, no real property shall be acquired by dedication or otherwise for street, square, park or other public purposes, and no real property shall be disposed of, no street shall be vacated or abandoned, and no public building or structure shall be constructed or authorized, if the adopted general plan or part thereof applies thereto, until the location, purpose and extent of such acquisition or disposition, such street vacation or abandonment, or such public building or structure have been submitted to and reported upon by the planning agency as to conformity with said adopted general plan or part thereof. **The planning agency shall render its report as to conformity with said adopted general plan** or part thereof within forty (40) days after the matter was submitted to it, or such longer period of time as may be designated by the legislative body.

Exhibit A showing the lands to be transferred to the Flood Control District and the State of California is attached. The table below summarizes the parcels, area, General Plan designation and proposed disposition. For each parcel, the proposed transfer is consistent with the General Plan designation.

Designation	Area	General Plan	Disposition
Parcel A	4.74 ac.	Commercial	Fee property to be granted to SBCFCD for the Lower Los Serranos Flood Control channel

**SUBJECT: GENERAL PLAN CONFORMANCE FINDING FOR THE FLOOD CONTROL
LOWER LOS SERRANOS FLOOD CONTROL CHANNEL**

Parcel B	2.26 ac.	Commercial	Easement rights to be deeded to SBCFCD for Lower Los Serranos Flood Control channel maintenance
Parcel C	0.22 ac.	Commercial	Easement rights to be deeded to SBCFCD for existing storm drain pipe maintenance
Parcel D	3.62 ac	Commercial	Fee property to be granted to SBCFCD for the outfall improvements of Los Serranos Flood Control channel between Big League Dreams and Fairfield Ranch Road
13993-1	est. 1.1 ac	Commercial	Fee property to be granted to Caltrans for SR-71 lying between existing freeway improvements and Lower Los Serranos Flood Control channel
13393-2	est. 0.02 ac	Commercial	Easement rights to be deeded to Caltrans for maintenance purposes of existing freeway facilities
13994-1	est. 0.28 ac	Commercial	Fee property to be granted to Caltrans for SR-71 lying between existing freeway improvements and Lower Los Serranos Flood Control channel
13995-1	est. 0.45 ac	No designation	Fee property to be granted to Caltrans for SR-71 lying between existing freeway improvements and Fairfield Ranch Road right of way
13995-2	est. 0.07 ac	No designation	Fee property to be granted to Caltrans for SR-71 lying between existing freeway improvements and Fairfield Ranch Road right of way

These transfers are consistent with the General Plan because the parcels are already developed with flood control or freeway improvements and the use of the parcels will not change. Once the Commission determines whether or not to find that these transfers conform to the General Plan, the property transfers will be recommended to City Council for approval. If the transfers are approved, SBCFCD has agreed to take on the maintenance responsibilities for Parcels A-D. Public Works estimates the yearly maintenance costs for this section of Los Serranos Channel at upwards of \$ 155,000 – a substantial cost savings to the City.

SUBJECT:GENERAL PLAN CONFORMANCE FINDING FOR THE FLOOD CONTROL
LOWER LOS SERRANOS FLOOD CONTROL CHANNEL

ENVIRONMENTAL ASSESSMENT

City staff has determined that the project is exempt as a Class 1 Categorical Exemption (existing facilities, involving negligible or no expansion of use beyond that existing at the time of the lead agency's determination), pursuant to Cal. Code Regs., tit. 14, § 15301 (Guidelines for the California Environmental Quality Act of 1970, as amended, Public Resources Code section 21000 *et seq.*) because this transfer of deeds will not expand or change the existing flood control channel or highway in any way. Further, the project is exempt from the California Environmental Quality Act (California Public Resources Code §§ 21000, *et seq.*, "CEQA") because, pursuant to Section 15061(b)(3) of the CEQA Guidelines (Title 14 California Code of Regulations §§ 15000, *et seq.*), there is no possibility that the mere transfer of deeds may have a significant effect on the environment.

Respectfully submitted,

Recommended by:



Joann Lombardo
Community Development Director



Joe Dyer
Assistant City Engineer

Attachments:

- Resolution
- Exhibit 'A' – Legal Description and Map Showing Parcels

RESOLUTION NO. PC 2017-

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF CHINO HILLS FINDING THE POSSIBLE TRANSFER OF LAND AND/OR INTERESTS IN FOUR (4) PARCELS TO THE SAN BERNARDINO COUNTY FLOOD CONTROL DISTRICT AND FIVE (5) PARCELS TO THE STATE OF CALIFORNIA DEPARTMENT OF TRANSPORTATION (CALTRANS) TO BE IN CONFORMANCE WITH THE CHINO HILLS GENERAL PLAN

WHEREAS, the City of Chino Hills is acting as the lead agency for the possible transfer of land and/or interests in nine (9) parcels in and around the Lower Los Serranos Channel; and

WHEREAS, Section 65402(a) of the Government Code requires that a statement of conformity be issued by the planning agency having jurisdiction over real property to be transferred and/or sold attesting to the location, purpose and extent of such activity has been reported upon as to conformity with the adopted General Plan; and

WHEREAS, the City of Chino Hills adopted its General Plan on September 13, 1994; and

NOW, THEREFORE, BE IT RESOLVED that the Planning Commission of the City of Chino Hills hereby

SECTION 1. Finds that the possible transfer of City owned land and/or interests, generally described as set forth in Exhibit A to this Resolution and incorporated herein by this reference, is in conformance with the Chino Hills General Plan because the parcels are already developed with flood control or freeway improvements and the use of the parcels will not change; and

SECTION 2. The Planning Commission Secretary shall certify as to the adoption of this Resolution.

PASSED, APPROVED, AND ADOPTED THIS 7th day of February 2017.

ADAM ELIASON, CHAIR

ATTEST:

KAREN PULVERS
PLANNING COMMISSION SECRETARY

APPROVED AS TO FORM:

ELIZABETH M. CALCIANO
ASSISTANT CITY ATTORNEY

STATE OF CALIFORNIA)
COUNTY OF SAN BERNARDINO) ss.
CITY OF CHINO HILLS)

I, KAREN PULVERS, Planning Commission Secretary of the City of Chino Hills, do hereby certify that the foregoing Resolution No. PC 2017___ was duly passed and adopted at a regular meeting of the Chino Hills Planning Commission held on the 7th day of February 2017 by the following roll call vote, to wit:

AYES: COMMISSION MEMBERS:

NOES: COMMISSION MEMBERS:

ABSENT: COMMISSION MEMBERS:

KAREN PULVERS
PLANNING COMMISSION SECRETARY

Exhibit A

Designation	Area	General Plan	Disposition
Parcel A	4.74 ac.	Commercial	Fee property to be granted to SBCFCD for the Lower Los Serranos Flood Control channel
Parcel B	2.26 ac.	Commercial	Easement rights to be deeded to SBCFCD for Lower Los Serranos Flood Control channel maintenance
Parcel C	0.22 ac.	Commercial	Easement rights to be deeded to SBCFCD for existing storm drain pipe maintenance
Parcel D	3.62 ac.	Commercial	Fee property to be granted to SBCFCD for the outfall improvements of Los Serranos Flood Control channel between Big League Dreams and Fairfield Ranch Road
13993-1	est. 1.1 ac	Commercial	Fee property to be granted to Caltrans for SR-71 lying between existing freeway improvements and Lower Los Serranos Flood Control channel
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13995-1	est.0.45 ac	No designation	Fee property to be granted to Caltrans for SR-71 lying between existing freeway improvements and Fairfield Ranch Road right of way
13995-2	est.0.07 ac	No designation	Fee property to be granted to Caltrans for SR-71 lying between existing freeway improvements and Fairfield Ranch Road right of way

001/222

EXHIBIT 'A'

SHEET 1 of 3

PARCEL MAP NO. 18029

IN THE CITY OF CHINO HILLS, COUNTY OF SAN BERNARDINO, STATE OF CALIFORNIA

BEING A SUBDIVISION OF PARCEL 37 AS SHOWN ON CERTIFICATE OF COMPLIANCE NO. 2007-154115, IN THE CITY OF CHINO HILLS, COUNTY OF SAN BERNARDINO, STATE OF CALIFORNIA, RECORDED FEBRUARY 02, 2007, AS INSTRUMENT NO. 2007-07272 OF OFFICIAL RECORDS OF SAID COUNTY.

PARDUE, CORNWELL & ASSOCIATES, INC. FEBRUARY, 2008

FOR COMMERCIAL CONDOMINIUM PURPOSES

7 NUMBERED PARCELS
19.71 ACRES, NET
19.72 ACRES, GROSS

EASEMENT NOTES

- △ INDICATES EASEMENT FOR STORM DRAIN, MAINTENANCE, PIPE LINES, ACCESS AND EGRESS AND INCIDENTAL PURPOSES IN FAVOR OF THE CITY OF CHINO HILLS PER INST. NO. 2003-065216, REC. 4-01-02, O.R.
- △ INDICATES EASEMENT FOR STORM DRAIN, MAINTENANCE, PIPE LINES, ACCESS AND EGRESS AND INCIDENTAL PURPOSES IN FAVOR OF THE CITY OF CHINO HILLS PER INST. NO. 2003-069862, REC. 9-17-03, O.R.
- △ INDICATES STORM DRAIN EASEMENT IRREVOCABLY OFFERED TO THE CITY OF CHINO HILLS HEREON.
- △ INDICATES PUBLIC UTILITY EASEMENT IRREVOCABLY OFFERED TO THE CITY OF CHINO HILLS HEREON.
- △ INDICATES PEDESTRIAN ACCESS EASEMENT IRREVOCABLY OFFERED TO THE CITY OF CHINO HILLS HEREON.
- △ INDICATES RECREATIONAL ACCESS EASEMENT BY AND BETWEEN CHINO HILLS AND STATE HIGHWAY 71 PER INST. NO. 2008-077198 REC. 6-13-08, O.R.
- △ INDICATES APPROXIMATE LOCATION OF AN EASEMENT FOR OVERHEAD AND UNDERGROUND ELECTRICAL SUPPLY SYSTEMS AND COMMUNICATION SYSTEMS IN FAVOR OF THE STATE OF CALIFORNIA PER INST. NO. 84175504, REC. 4-15-04, O.R.
- △ INDICATES APPROXIMATE LOCATION OF AN EASEMENT FOR OVERHEAD AND UNDERGROUND ELECTRICAL SUPPLY SYSTEMS AND COMMUNICATION SYSTEMS IN FAVOR OF THE STATE OF CALIFORNIA PER INST. NO. 84175504, REC. 4-15-04, O.R.
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EASEMENT NOTES

- △ INDICATES EASEMENT FOR PUBLIC UTILITIES AND INCIDENTAL PURPOSES IN FAVOR OF THE CITY OF CHINO HILLS PER INST. NO. 2003-065216, REC. 4-01-02, O.R.
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SCALE: 1" = 100'

REDACTED DENOTES AREAS DESCRIBED INCLUDING NOTED EXCEPTIONS

STATE HIGHWAY 71

POMONA-RINCON ROAD

PARCEL 1: 1.8 AC.

PARCEL 2: 2.31 AC.

PARCEL 3: 1.38 AC.

PARCEL 4: 2.0 AC.

PARCEL 5: 3.38 AC.

PARCEL 6: 1.8 AC.

R.S. 94133-37

R.S. 94133-37

LINE DATA

NO.	BEARING	DISTANCE
L1	N65°50'37"W	17.30'
L2	N65°50'37"W	17.30'
L3	N66°16'44"W	23.34'
L4	N66°24'41"W	31.23'
L5	N67°30'23"E	35.02'
L6	N67°30'23"E	35.02'
L7	N65°10'44"E	16.80'

CURVE DATA

NO.	CHORD	DELTA	ARC
C1	294.00'	02°24'22"	126.35'
C2	11846.59'	02°46'44"	148.30'
C3	11846.59'	02°46'44"	148.30'
C4	11846.59'	02°46'44"	148.30'
C5	11846.59'	02°46'44"	148.30'

NOTE:
SEE SHEET 2 FOR BOUNDARY AND SHEET INDEX MAP.
SEE SHEET 3 FOR BOUNDARY AND SHEET INDEX MAP.
NOTES OF EASEMENTS, EGRESS AND ACCESS, AND EGRESS NOTES OF EASEMENT NOTES, AND COMPOSITE DEVELOPMENT PLAN NOTE.

DETAIL "B"
SCALE: 1" = 50'

DETAIL "F"
SCALE: 1" = 100'

232/100

232/101

EXHIBIT 'A'

7 NUMBERED PARCELS
1 LETTERED PARCEL
19.71 ACRES, NET
19.72 ACRES, GROSS

PARCEL MAP NO. 18029

IN THE CITY OF CHINO HILLS, COUNTY OF SAN BERNARDINO, STATE OF CALIFORNIA
BEING A SUBDIVISION OF PARCEL "B" AS SHOWN ON CERTIFICATE OF COMPLIANCE NO. 2007-041115 IN THE CITY OF CHINO HILLS, COUNTY OF SAN BERNARDINO, STATE OF CALIFORNIA, RECORDED FEBRUARY 02, 2007, AS INSTRUMENT NO. 2007-072722 OF OFFICIAL RECORDS OF SAID COUNTY.
PARDUE, CORNWELL & ASSOCIATES, INC. FEBRUARY, 2008
FOR COMMERCIAL CONDOMINIUM PURPOSES

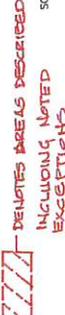
SHEET 2 OF 3

EASEMENT NOTES

- INDICATES EASEMENT FOR STORM DRAINS, MAINTENANCE, PIPE LINES, INGRESS AND EGRESS AND INCIDENTAL PURPOSES IN FAVOR OF THE CITY OF CHINO HILLS PER INST. NO. 92-23192, REC. 0-01-92, O.R.
- INDICATES EASEMENT FOR MAINTENANCE OF AN UNDERGROUND STORM DRAINAGE SYSTEM IN FAVOR OF THE CITY OF CHINO HILLS PER INST. NO. 92-23271, REC. 6-23-92, O.R.
- INDICATES ADJUTER'S RIGHTS OF INGRESS AND EGRESS RELEASED AND RELINQUISHED THE STATE OF CALIFORNIA PER INST. NO. 84178502, REC. 4-15-94, O.R.
- INDICATES ADJUTER'S RIGHTS OF INGRESS AND EGRESS RELEASED AND RELINQUISHED THE STATE OF CALIFORNIA PER INST. NO. 84178501, REC. 4-15-94, O.R.
- INDICATES EASEMENT FOR DRAINAGE PURPOSES AND INCIDENTAL PURPOSES IN FAVOR OF THE STATE OF CALIFORNIA PER INST. NO. 84178504, REC. 4-15-94, O.R.
- INDICATES APPROXIMATE LOCATION OF AN EASEMENT FOR OVERHEAD AND UNDERGROUND UTILITIES AND TELECOMMUNICATION SYSTEMS AND INCIDENTAL PURPOSES IN FAVOR OF SOUTHERN CALIFORNIA GAS COMPANY PER INST. NO. 94-298323, REC. 7-08-94, O.R.

EASEMENT NOTES

- INDICATES EASEMENT FOR PUBLIC UTILITIES AND INCIDENTAL PURPOSES IN FAVOR OF THE CITY OF CHINO HILLS PER INST. NO. 2002-063816, REC. 8-29-02, O.R.
- INDICATES EASEMENT FOR SLOPE AND UTILITIES AND INCIDENTAL PURPOSES IN FAVOR OF THE CITY OF CHINO HILLS PER INST. NO. 2003-069882, REC. 9-17-03, O.R.
- INDICATES STORM DRAIN EASEMENT IRREVOCABLY OFFERED TO THE CITY OF CHINO HILLS HEREON.
- INDICATES PUBLIC UTILITY EASEMENT IRREVOCABLY OFFERED TO THE CITY OF CHINO HILLS HEREON.
- INDICATES PEDESTRIAN ACCESS EASEMENT IRREVOCABLY OFFERED TO THE CITY OF CHINO HILLS HEREON.

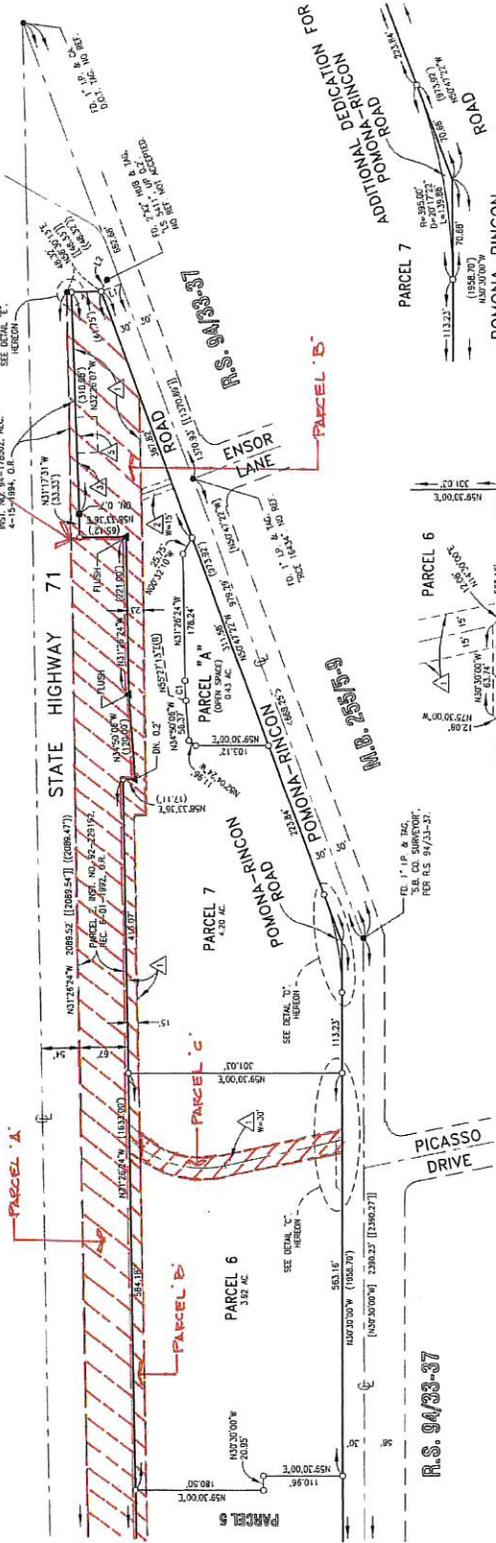


LINE DATA	BEARING	DISTANCE
1	N 57° 27' 57" W	30.00
2	N 62° 17' 29" E	11.50
3	N 62° 17' 29" E	11.50

CURVE DATA	RADIUS	BETA	ARC
1	518.07	0.79737	28.11



FD. 2° 24' 48" & TAG,
1.5" 54.11", UP 0.2"
NO RET.
[2088.54] (2088.47)
N 172° 24' W, 2089.52
(310.68)
N 172° 20' W



PARCEL 7
POMONA-RINCON
SCALE: 1"=50'

PARCEL 6
POMONA-RINCON ROAD
SCALE: 1"=50'

NOTE:
SEE SHEET 2 FOR BOUNDARY AND SHEET INDEX MAP.
BASIS OF BEARINGS, SURVEYOR'S NOTES, MONUMENT NOTES, EASEMENT NOTES, AND COMPOSITE DEVELOPMENT PLAN NOTE.

232/101

EXHIBIT 'A'

3 NUMBERED LOTS
GROSS AREA: 4.77 ACRES
NET AREA: 4.77 ACRES

SHEET 3 OF 3 SHEETS

PARCEL MAP NO. 19379

IN THE CITY OF CHINO HILLS, COUNTY OF SAN BERNARDINO, STATE OF CALIFORNIA

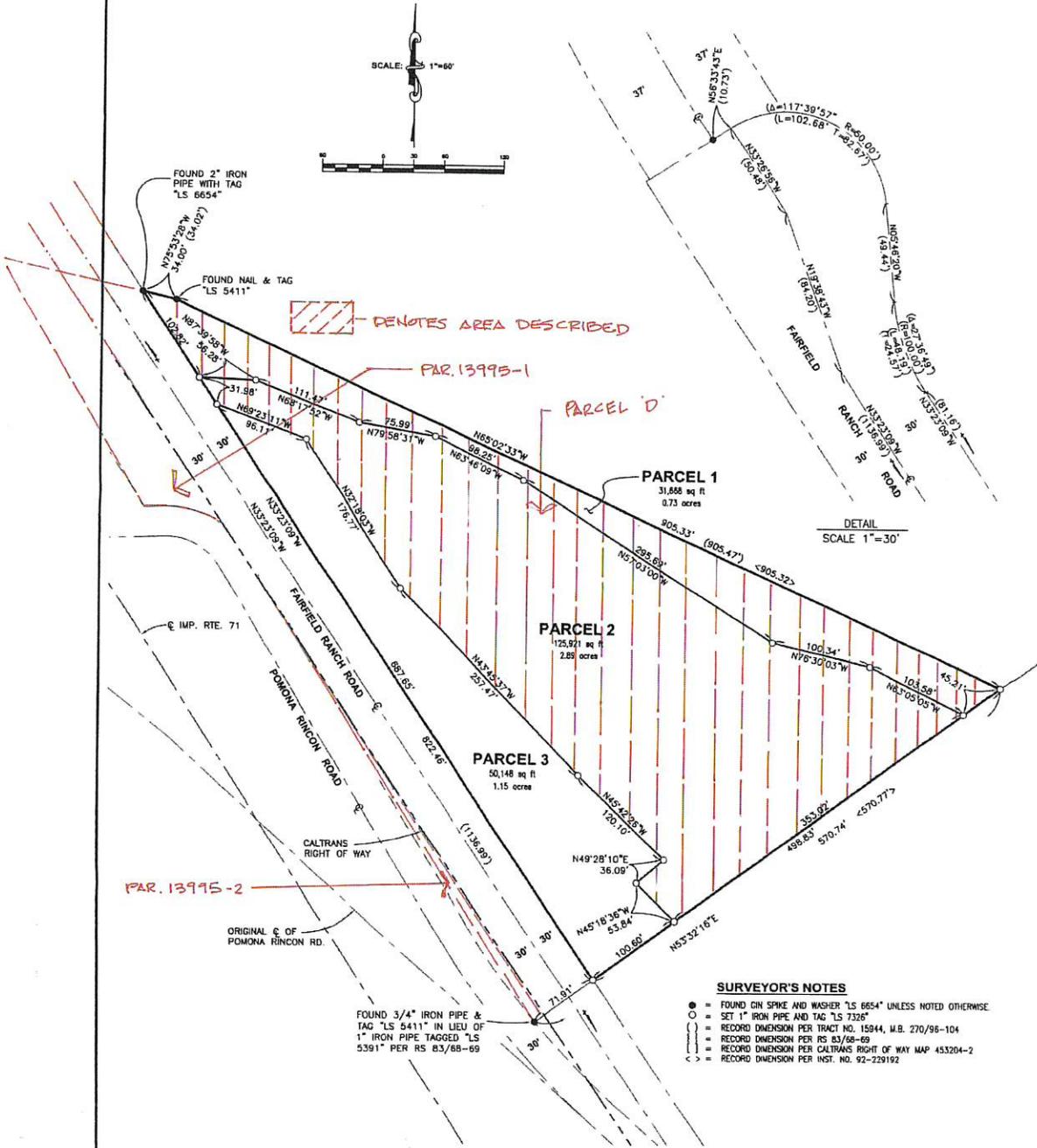
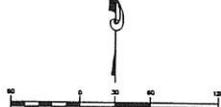
BEING A SUBDIVISION OF A PORTION OF LOTS 13 AND 14, IN BLOCK "B", OF MAP "D", OF A MAP OF THE EXTENSION OF THE SUBDIVISION OF THE RANCHO SANTA ANA DEL CHINO AS SHOWN ON A MAP THEREOF, FILED IN BOOK 12, PAGES 47 AND 48 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

L.D. KING, INC.
ONTARIO, CALIFORNIA

MICHAEL A. BAINE
L.S. 7326

FEBRUARY 2012

SCALE: 1"=60'



SURVEYOR'S NOTES

- = FOUND GIN SPIKE AND WASHER "LS 6654" UNLESS NOTED OTHERWISE
- = SET 1" IRON PIPE AND TAG "LS 7326"
- { } = RECORD DIMENSION PER TRACT NO. 15944, M.B. 270/96-104
- [] = RECORD DIMENSION PER RS 83/68-69
- < > = RECORD DIMENSION PER CALTRANS RIGHT OF WAY MAP 453204-2
- < > = RECORD DIMENSION PER INST. NO. 92-229192

**EXHIBIT A
LEGAL DESCRIPTION**

ALL OF THE REAL PROPERTY IN THE CITY OF CHINO HILLS, SAN BERNARDINO COUNTY, CALIFORNIA, LYING WITHIN SECTION 26, TOWNSHIP 2 SOUTH, RANGE 8 WEST, SAN BERNARDINO MERIDIAN, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

PARCEL A:

THAT CERTAIN PARCEL OF LAND BEING THOSE PORTIONS OF LOT 10, 11, AND 12 IN BLOCK 'B' AND LOTS 13, 14, AND 15 IN BLOCK 'A' OF MAP 'D' OF A MAP OF THE EXTENSION OF THE SUBDIVISION OF THE RANCHO SANTA ANA DEL CHINO, AS SHOWN ON A MAP THEREOF FILED IN BOOK 12, PAGES 47 AND 48 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, DESCRIBED AS FOLLOWS:

COMMENCING AT STATION '5' IN THE CENTERLINE OF POMONA-RINCON ROAD AS SHOWN ON SAID MAP 'D'; THENCE ALONG SAID CENTERLINE SOUTH $17^{\circ}44'06''$ EAST, 339.50 FEET TO A POINT ON THE NORTHEASTERLY LINE OF THE LAND DESCRIBED IN A CORPORATION GRANT DEED TO JOHN D. LUSK AND SON, RECORDED NOVEMBER 18, 1966 IN BOOK 6730, PAGE 918 OF OFFICIAL RECORDS OF SAID COUNTY; THENCE ALONG SAID NORTHERLY LINE, SOUTH $88^{\circ}04'06''$ EAST, 269.76 FEET TO THE SOUTHWESTERLY LINE OF THAT CERTAIN PARCEL OF LAND DESCRIBED IN A DEED TO THE STATE OF CALIFORNIA RECORDED APRIL 2, 1958 IN BOOK 4474 PAGE 249 OF SAID OFFICIAL RECORDS, SAID POINT BEING THE **TRUE POINT OF BEGINNING**; THENCE ALONG SAID SOUTHWESTERLY LINE THROUGH THE FOLLOWING COURSES: SOUTH $37^{\circ}19'31''$ EAST, 68.43 FEET; THENCE SOUTH $34^{\circ}00'26''$ EAST, 345.33 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE SOUTHWESTERLY AND HAVING A RADIUS OF 11923.00 FEET; THENCE ALONG SAID CURVE SOUTHEASTERLY 534.57 FEET THROUGH A CENTRAL ANGLE OF $2^{\circ}34'08''$; THENCE TANGENT TO SAID CURVE SOUTH $31^{\circ}26'18''$ EAST, 1459.91 FEET TO A POINT HEREINAFTER REFERRED TO AS **POINT 'A'**; THENCE CONTINUING SOUTH $31^{\circ}26'18''$, 823.28 FEET TO A POINT HEREINAFTER REFERRED TO AS **POINT 'B'**; THENCE LEAVING SAID SOUTHEASTERLY LINE, SOUTH $58^{\circ}33'42''$ WEST, 77.00 FEET; THENCE NORTH $31^{\circ}26'18''$ WEST, 221.00 FEET; THENCE NORTH $34^{\circ}50'00''$ WEST, 120.00 FEET; THENCE NORTH $58^{\circ}33'42''$ EAST, 17.11 FEET TO A LINE PARALLEL WITH AND 67.00 FEET SOUTHWESTERLY FROM SAID SOUTHWESTERLY LINE; THENCE ALONG SAID PARALLE LINE NORTH $31^{\circ}26'18''$ WEST, 1633.00 FEET; THENCE NORTH $58^{\circ}33'42''$ EAST, 6.00 FEET; THENCE NORTH $31^{\circ}26'18''$ WEST, 440.00 FEET; THENCE NORTH $31^{\circ}40'00''$ WEST, 450.00 FEET; THENCE NORTH $33^{\circ}40'00''$ WEST, 163.00 FEET; THENCE NORTH $34^{\circ}10'00''$ WEST, 120.00 FEET; THENCE NORTH $37^{\circ}20'00''$ WEST, 119.41 FEET TO SAID NORTHEASTERLY LINE OF THE LAND DESCRIBED IN SAID CORPORATION GRANT DEED TO JOHN D. LUSK AND SON; THENCE ALONG SAID NORTHEASTERLY LINE SOUTH $88^{\circ}04'06''$ EAST, 63.02 FEET TO THE **TRUE POINT OF BEGINNING**.

CONTAINS 4.743 ACRES, MORE OR LESS

EXCEPTING THEREFROM THAT PORTION DENOTED AS PARCEL 13993-1 AND DESCRIBED IN THAT CERTAIN GRANT DEED FROM THE CITY OF CHINO HILLS TO THE STATE OF CALIFORNIA, DEPARTMENT OF TRANSPORTATION, RECORDED AS INSTRUMENT NO. _____ ON _____, 2017, RECORDS OF SAN BERNARDINO COUNTY, CALIFORNIA.

EXHIBIT A
LEGAL DESCRIPTION (cont.)

ALSO EXCEPTING THEREFROM THAT PORTION DENOTED AS PARCEL 13994-1 AND DESCRIBED IN THAT CERTAIN GRANT DEED FROM THE CITY OF CHINO HILLS TO THE STATE OF CALIFORNIA, DEPARTMENT OF TRANSPORTATION, RECORDED AS INSTRUMENT NO. _____ ON _____, 2017, RECORDS OF SAN BERNARDINO COUNTY, CALIFORNIA.

SUBJECT TO AN EASEMENT FOR DRAINAGE PURPOSES LYING WITHIN A PORTION OF PARCEL 2 AS DESCRIBED IN A DEED TO THE CITY OF CHINO HILLS, RECORDED JUNE 1, 2002 AS DOCUMENT NO. 92-229192, OFFICIAL RECORDS OF SAID SAN BERNARDINO COUNTY, DESCRIBED IN A DEED TO THE STATE OF CALIFORNIA, DEPARTMENT OF TRANSPORTATION RECORDED ON _____, 2017 AS INSTRUMENT NO. _____, RECORDS OF SAID COUNTY, DESCRIBED AS FOLLOWS:

COMMENCING AT AN ANGLE POINT IN THE NORTHEASTERLY BOUNDARY OF PARCEL 4 OF PARCEL MAP NO. 18029, RECORDED IN BOOK 232, PAGES 98 THROUGH 101, INCLUSIVE, RECORDS OF SAID COUNTY, SAID ANGLE POINT BEING THE NORTHWESTERLY TERMINUS OF THAT CERTAIN COURSE SHOWN AS NORTH 31°26'24" WEST, 88.34 FEET AS SHOWN ON SAID PARCEL MAP; THENCE ALONG THE COMMON BOUNDARY OF SAID PARCEL 2 OF SAID DEED TO THE CITY OF CHINO HILLS AND THE NORTHEASTERLY BOUNDARY OF SAID PARCEL MAP NO. 18029, SOUTH 30°55'20" EAST, 173.46 FEET TO THE NORTHWESTERLY LINE OF A 60.00 FOOT WIDE UNNAMED STREET SHOWN AS ABANDONED PER SAID PARCEL MAP NO. 18029; THENCE LEAVING SAID BOUNDARY AND ALONG SAID STREET NORTH 54°30'14" EAST, 60.40 FEET; THENCE NORTH 30°46'31" WEST, 83.61 FEET TO THE **TRUE POINT OF BEGINNING**; THENCE SOUTH 58°55'21" WEST, 17.60 FEET; THENCE NORTH 31°04'39" WEST, 50.00 FEET; THENCE NORTH 58°55'21" EAST, 17.86 FEET; THENCE SOUTH 30°46'31" EAST, 50.00 FEET TO THE **TRUE POINT OF BEGINNING**.

ALSO SUBJECT TO THE RESERVATION AS CONTAINED IN THAT CERTAIN DEED EXECUTED BY ESTHER KRAEMER AS TRUSTEE FOR ESTHER KRAEMER TRUST AND KRAEMER FAMILY TRUST RECORDED OCTOBER 13, 1964 IN BOOK 6249 PAGE 958 OF OFFICIAL RECORDS OF SAID COUNTY.

RESERVING UNTO VON-LUSK, A LIMITED PARTNERSHIP, DESIGNATED GRANTOR IN A GRANT DEED RECORDED ON JUNE 1, 1992 AS INSTRUMENT NO. 92-229192, OFFICIAL RECORDS OF SAID COUNTY AND STATE, ITS SUCCESSORS AND TRANSFEREES, AN EASEMENT OVER SAID REAL PROPERTY FOR THE PURPOSES OF RELOCATING, AND/OR CONSTRUCTING A COVER AND STRUCTURES OVER, ALL OR A PORTION OF THE STORM DRAIN CHANNEL LYING WITHIN SAID PARCEL A. THIS RIGHT TO RELOCATE OR COVER THE STORM DRAIN CHANNEL SHALL BE AT DESIGNATED GRANTOR'S EXPENSE, AND SHALL BE PERFORMED IN A MANNER APPROVED BY GRANTEE, WHICH APPROVAL SHALL NOT BE UNREASONABLY WITHHELD. GRANTEE SHALL COOPERATE WITH AND ASSIST DESIGNATED GRANTOR VON-LUSK IN

EXHIBIT A
LEGAL DESCRIPTION (cont.)

COORDINATING AND FACILITATING THE APPLICATION AND PROCESSING OF PERMITS NECESSARY FOR SUCH IMPROVEMENTS.

ALSO RESERVING UNTO VON-LUSK, DESIGNATED GRANTOR, ITS SUCCESSORS AND TRANSFEREES, AN EASEMENT APPURTENANT TO THE REAL PROPERTY OF VON-LUSK, FOR SURFACE AND SUBSURFACE DRAINAGE PURPOSES, WITHIN DRAINAGE FACILITIES TO BE CONSTRUCTED BY DESIGNATED GRANTOR IN A MANNER APPROVED BY GRANTEE, WHICH APPROVAL SHALL NOT BE UNREASONABLY WITHHELD.

SUBJECT TO ALL COVENANTS, RIGHTS, RIGHTS-OF-WAY AND EASEMENTS OF RECORD.

PARCEL B:

A NON-EXCLUSIVE EASEMENT APPURTENANT TO PARCEL 'A' DESCRIBED ABOVE, FOR STORM DRAIN CHANNEL INGRESS AND EGRESS PURPOSES, AND FOR THE INSTALLATION, MAINTENANCE, REPAIR AND REPLACEMENT OF A SUBSURFACE STORM DRAIN PIPELINE, WITHIN THE REAL PROPERTY DESCRIBED AND DEPICTED AS PARCEL 'B' ON EXHIBIT 'A' ATTACHED HERETO. VON-LUSK, A LIMITED PARTNERSHIP, DESIGNATED GRANTOR IN A GRANT DEED RECORDED ON JUNE 1, 1992 AS INSTRUMENT NO. 92-229192, OFFICIAL RECORDS OF SAID COUNTY AND STATE, ITS SUCCESSORS AND TRANSFEREES, SHALL HAVE THE RIGHT TO IMPROVE THE EASEMENT AREA WITH PAVEMENT AND WITH STRUCTURES WHOSE LOCATIONS HAVE BEEN APPROVED BY GRANTEE, IN CONJUNCTION WITH DEVELOPMENT OF THE ADJACENT REAL PROPERTY, BUT IN SO DOING SHALL PROVIDE AN ALTERNATIVE AND REASONABLY

COMPARABLE MEANS OF STORM CHANNEL INGRESS AND EGRESS. GRANTEE SHALL HAVE THE RIGHT TO FENCE THE ACCESS ROAD CONSTRUCTED WITHIN THE EASEMENT AREA AND TO RESTRICT PUBLIC ACCESS THERETO, UNTIL SUCH TIME AS DESIGNATED GRANTOR SHALL HAVE COMMENCED CONSTRUCTION OF IMPROVEMENTS TO PROVIDE AN ALTERNATIVE MEANS OF INGRESS AND EGRESS FOR GRANTEE, AND SHALL HAVE GIVEN GRANTEE NOTICE TO REMOVE ITS ACCESS ROAD FENCE.

THE ABOVE REFERENCED NON-EXCLUSIVE EASEMENT LIES WITHIN THE REAL PROPERTY IN THE CITY OF CHINO HILLS, SAN BERNARDINO COUNTY, CALIFORNIA, LYING WITHIN SECTION 26, TOWNSHIP 2 SOUTH, RANGE 8 WEST, SAN BERNARDINO MERIDIAN, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

THAT CERTAIN PARCEL OF LAND BEING THOSE PORTIONS OF LOT 10, 11, AND 12 IN BLOCK 'B' AND LOTS 13, 14, AND 15 IN BLOCK 'A' OF MAP 'D' OF A MAP OF THE EXTENSION OF THE SUBDIVISION OF THE RANCHO SANTA ANA DEL CHINO, AS SHOWN ON A MAP THEREOF FILED IN BOOK 12, PAGES 47 AND 48 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAN BERNARDINO COUNTY, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:

BEGINNING AT POINT 'B' AS DESCRIBED HEREINBEFORE IN PARCEL A, SAID POINT BEING ON THE SOUTHWESTELRY LINE OF THAT CERTAIN PARCEL OF LAND DESCRIBED IN A DEED TO THE STATE OF CALIFORNIA RECORDED APRIL 2, 1958 IN BOOK 4474, PAGE 249 OF OFFICIAL RECORDS OF SAID COUNTY; THENCE AT RIGHT ANGLES TO SAID SOUTHWESTERLY LINE SOUTH 58°33'42" WEST, 77.00 FEET; THENCE NORTH 31°26'18" WEST, 221.00 FEET; THENCE NORTH 34°50'00" WEST, 120.00 FEET; THENCE NORTH

EXHIBIT A
LEGAL DESCRIPTION (cont.)

58°33'42" EAST, 17.11 FEET TO A LINE PARALLE WITH AND 67.00 FEET SOUTHWESTERLY FROM SAID SOUTHWESTERLY LINE; THENCE ALONG SAID PARALLEL LINE NORTH 31°26'18" WEST, 1633.00 FEET; THENCE NORTH 58°33'42" EAST, 6.00 FET; THENCE NORTH 31°26'18" WEST, 440.00 FEET; THENCE NORTH 31°40'00" WEST, 450.00 FEET; THENCE NORTH 33°40'00" WEST, 163.00 FEET; THENCE NORTH 34°10'00" WEST, 120.00 FEET; THENCE NORTH 37°20'00" WEST, 119.41 FEET TO THE NORTHEASTERLY LINE OF THE LAND DESCRIBED IN A CORPORATION GRANT DEED TO JOHN D. LUSK AND SON RECORDED NOVEMBER 18, 1966 IN BOOK 6730, PAGE 918 OF OFFICIAL RECORDS OF SAID COUNTY; THENCE ALONG SAID NORTHEASTERLY LINE NORTH 88°04'06" WEST, 42.88 FEET TO A LINE PARALLEL AND/OR CONCENTRIC WITH AND 82.00 FEET SOUTHWESTERLY FROM SAID SOUTHWESTERLY LINE OF SAID LAND DESCRIBED IN A DEED TO THE STATE OF CALIFORNIA; THENCE ALONG SAID PARALLEL AND/OR CONCENTRIC LINE THROUGH THE FOLLOWING COURSES: SOUTH 37°19'31" EAST, 133.07 FEET; THENCE SOUTH 34°00'26" EAST, 342.95 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE SOUTHWESTERLY AND HAVING A RADIUS OF 11841.00 FEET; THENCE ALONG SAID CURVE SOUTHEASTERLY 530.90 FEET THROUGH A CENTRAL ANGLE OF 2°34'08"; THENCE TANGENT TO SAID CURVE SOUTH 31°26'18" EAST, 1889.91 FEET; THENCE LEAVING SAID PARALLEL AND/OR CONCENTRIC LINE, SOUTH 58°33'42" WEST, 18.00 FEET; THENCE SOUTH 31°26'18" EAST, 591.38 FEET TO A POINT LYING ON THE SOUTHWESTERLY LINE OF SAID LOT 12, SAID POINT ALSO LYING ON THE NORTHEASTERLY LINE OF POMONA-RINCON ROAD; THENCE ALONG SAID SOUTHWESTERLY LINE SOUTH 50°56'29" EAST, 154.78 FEET TO THE SOUTHWESTERLY TERMINUS OF THAT CERTAIN COURSE DESCRIBED IN SAID DEED TO THE STATE OF CALIFORNIA AS "NORTH 59°05'00" EAST, 48.32 FEET"; THENCE ALONG SAID COURSE NORTH 58°33'42" EAST, 48.33 FEET TO THE NORTHEASTERLY TERMINUS OF SAID COURSE; THENCE ALONG THE SOUTHWESTERLY LINE OF THE LAND DESCRIBED IN SAID DEED TO THE STATE OF CALIFORNIA, NORTH 31°26'18" WEST, 129.29 FEET TO A POINT DISTANT THEREON AND SOUTH 31°26'18" EAST, 214.71 FEET FROM THE **POINT OF BEGINNING**; SAID POINT ALSO BEING HEREINAFTER REFERRED TO AS **POINT 'C'**; THENCE NORTH 31°26'18' WEST, 214.71 FEET TO THE **POINT OF BEGINNING**.

CONTAINS 2.261 ACRES, MORE OR LESS

EXCEPTING THEREFROM THAT PORTION DENOTED AS PARCEL 9462-1 AND DESCRIBED IN THAT CERTAIN GRANT DEED FROM VON-LUSK, A CALIFORNIA LIMITED PARTNERSHIP AND THE STATE OF CALIFORNIA, DEPARTMENT OF TRANSPORTATION, RECORDED AS INSTRUMENT NO. 94178502 ON APRIL 15, 1994, RECORDS OF SAN BERNARDINO COUNTY, CALIFORNIA.

SUBJECT TO THE RESERVATION AS CONTAINED IN THAT CERTAIN DEED EXECUTED BY ESTHER KRAEMER AS TRUSTEE FOR ESTHER KRAEMER TRUST AND KRAEMER FAMILY TRUST RECORDED OCTOBER 13, 1964 IN BOOK 6249 PAGE 958 OF OFFICIAL RECIATEDS OF SAID COUNTY.

SUBJECT TO ALL COVENANTS, RIGHTS, RIGHTS-OF-WAY AND EASEMENTS OF RECORD.

EXHIBIT A
LEGAL DESCRIPTION (cont.)

PARCEL C:

A NON-EXCLUSIVE EASEMENT APPURTENANT TO PARCEL 'A' DESCRIBED ABOVE, FOR THE INSTALLATION, MAINTENANCE, REPAIR AND REPLACEMENT OF A SUBSURFACE STORM DRAIN PIPELINE UNDER THE REAL PROPERTY DESCRIBED AND DEPICTED AS PARCEL 'C' ON EXHIBIT 'A' ATTACHED HERETO.

VON-LUSK, A LIMITED PARTNERSHIP, DESIGNATED GRANTOR IN A GRANT DEED RECORDED ON JUNE 1, 1992 AS INSTRUMENT NO. 92-229192, OFFICIAL RECORDS OF SAID COUNTY, ITS SUCCESSORS AND TRANSFEREES, SHALL HAVE THE RIGHT TO RELOCATE THE STORM DRAIN PIPELINE AND THE EASEMENT AREA, AND TO CONSTRUCT IMPROVEMENTS ON THE SURFACE OF THE EASEMENT AREA, IN A MANNER APPROVED BY GRANTEE, WHICH APPROVAL SHALL NOT BE UNREASONABLY WITHHELD.

THE NON-EXCLUSIVE EASEMENT LIES WITHIN THE REAL PROPERTY IN THE CITY OF CHINO HILLS, SAN BERNARDINO COUNTY, CALIFORNIA, LYING WITHIN SECTION 26, TOWNSHIP 2 SOUTH, RANGE 8 WEST, SAN BERNARDINO MERIDIAN, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

THAT CERTAIN PARCEL OF LAND BEING THAT PORTION OF LOT 11 IN BLOCK 'B' OF MAP 'D' OF A MAP OF THE EXTENSION OF THE SUBDIVISION OF THE RANCHO SANTA ANA DEL CHINO, AS SHOWN ON A MAP THEREOF FILED IN BOOK 12, PAGES 47 AND 48 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID SAN BERNARDINO COUNTY, INCLUDED WITHIN A STRIP OF LAND 30.00 FEET WIDE, THE CENTERLINE OF WHICH IS DESCRIBED AS FOLLOWS:

BEGINNING AT POINT 'A' AS DESCRIBED HEREINBEFORE IN PARCEL 'A'; THENCE SOUTH 58°33'42" WEST, 45.00 FEET; THENCE NORTH 76°26'19" WEST, 29.60 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE SOUTHERLY AND HAVING A RADIUS OF 150.00 FEET; THENCE ALONG SAID CURVE WESTERLY 147.61 FEET THROUGH A CENTRAL ANGLE OF 56°23'02"; THENCE TANGENT TO SAID CURVE SOUTH 47°10'39" WEST, 168.19 FEET TO A POINT LYING ON THE SOUTHWESTERLY LINE OF SAID LOT 11, SAID POINT ALSO LYING ON THE NORTHEASTERLY LINE OF POMONA-RINCON ROAD.

EXCEPTING THEREFROM THAT PORTION INCLUDED WITHIN SAID PARCEL 'A'.

SAID STRIP OF LAND SHALL BE LENGTHENED OR SHORTENED SOUTHWESTERLY SO AS TO TERMINATE IN SAID SOUTHWESTERLY LINE OF LOT 11.

CONTAINS 0.217 ACRES, MORE OR LESS.

SUBJECT TO THE RESERVATION AS CONTAINED IN THAT CERTAIN DEED EXECUTED BY ESTHER KRAEMER AS TRUSTEE FOR ESTHER KRAEMER TRUST AND KRAEMER FAMILY TRUST RECORDED OCTOBER 13, 1964 IN BOOK 6249 PAGE 958 OF OFFICIAL RECIATEDS OF SAID COUNTY.

EXHIBIT A
LEGAL DESCRIPTION (cont.)

PARCEL D:

THAT CERTAIN PARCEL OF LAND BEING THOSE PORTIONS OF LOTS 13 AND 14 IN BLOCK 'B' OF MAP 'D' OF A MAP OF THE EXTENSION OF THE SUBDIVISION OF THE RANCHO SANTA ANA DEL CHINO AS SHOWN ON A MAP THEREOF FILED IN BOOK 12, PAGES 47 AND 48 OF MAPS IN THE OFFICE OF THE COUNTY RECORDER OF SAID SAN BERNARDINO COUNTY, DESCRIBED AS FOLLOWS:

COMMENCING AT POINT 'C' AS DESCRIBED HEREINBEFORE IN PARCEL B, SAID POINT BEING ON THE SOUTHWESTELRY LINE OF THAT CERTAIN PARCEL OF LAND DESCRIBED IN A DEED TO THE STATE OF CALIFORNIA RECORDED APRIL 2, 1958 IN BOOK 4474 PAGE 249 OF OFFICIAL RECORDS OF SAID COUNTY; THENCE AT RIGHT ANGLES TO SAID SOUTHWESTERLY LINE NORTH 58°33'42" EAST, 154.00 FEET TO THE NORTHEASTERLY LINE OF SAID LAND AND THE **TRUE POINT OF BEGINNING**; THENCE SOUTH 75°26'18" EAST, 194.20 FEET; THENCE SOUTH 64°35'24" EAST, 905.32 FEET TO THE SOUTHEASTERLY LINE OF THE LAND DESCRIBED IN A CORPORATION GRANT DEED TO JOHN D. LUSK AND SON RECORDED NOVEMBER 18, 1966 IN BOOK 6730, PAGE 918 OF SAID OFFICIAL RECORDS; THENCE ALONG SAID SOUTHEASTERLY LINE SOUTH 53°59'02" WEST, 570.77 FEET TO A POINT ON A NON-TANGENT CURVE IN SAID NORTHEASTERLY LINE OF THE LAND OF THE STATE OF CALIFORNIA CONCAVE NORTHEASTERLY AND HAVING A RADIUS OF 820.00 FEET, A RADIAL LINE THROUGH SAID POINT BEARS SOUTH 51°06'47" WEST; THENCE ALONG SAID CURVE AND NORTHEASTERLY LINE NORTHWESTERLY 121.36 FEET THROUGH A CENTRAL ANGLE OF 8°28'47"; THENCE CONTINUING ALONG SAID NORTHEASTERLY LINE THROUGH THE FOLLOWING COURSES: TANGENT FROM SAID CURVE NORTH 30°24'27" WEST, 432.37 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE SOUTHERLY AND HAVING A RADIUS OF 90.00 FEET; THENCE ALONG SAID CURVE WESTERLY 95.88 FEET THROUGH A CENTRAL ANGLE OF 61°02'28"; THENCE TANGENT FROM SAID CURVE SOUTH 88°33'05" WEST, 19.66 FEET; THENCE NORTH 31°26'18" WEST, 300.45 FEET TO THE **TRUE POINT OF BEGINNING**.

EXCEPTING THEREFROM PARCEL 3 OF PARCEL MAP NO. 19379, AS SHOWN ON A MAP RECORDED IN BOOK 240 PAGES 49 THROUGH 51, INCLUSIVE, OF PARCEL MAPS, RECORDS OF SAID SAN BERNARDINO COUNTY, CALIFORNIA.

ALSO EXCEPTING THEREFROM FAIRFIELD RANCH ROAD, 60.00 FEET WIDE, AS SHOWN ON SAID PARCEL MAP NO. 19379.

ALSO EXCEPTING THEREFROM THAT PORTION DENOTED AS PARCEL 13995-1 AND DESCRIBED IN THAT CERTAIN GRANT DEED FROM THE CITY OF CHINO HILLS TO THE STATE OF CALIFORNIA, DEPARTMENT OF TRANSPORTATION, RECORDED AS INSTRUMENT NO. _____ ON _____, 2017, RECORDS OF SAN BERNARDINO COUNTY, CALIFORNIA.

ALSO EXCEPTING THEREFROM THAT PORTION DENOTED AS PARCEL 13995-2 AND DESCRIBED IN THAT CERTAIN GRANT DEED FROM THE CITY OF CHINO HILLS TO THE STATE OF CALIFORNIA, DEPARTMENT OF TRANSPORTATION, RECORDED AS INSTRUMENT NO. _____ ON _____, 2017, RECORDS OF SAN BERNARDINO COUNTY, CALIFORNIA.

EXHIBIT A
LEGAL DESCRIPTION (cont.)

CONTAINS 6.407 ACRES, MORE OR LESS.

SUBJECT TO THE RESERVATION AS CONTAINED IN THAT CERTAIN DEED EXECUTED BY ESTHER KRAEMER AS TRUSTEE FOR ESTHER KRAEMER TRUST AND KRAEMER FAMILY TRUST RECORDED OCTOBER 13, 1964 IN BOOK 6249 PAGE 958 OF OFFICIAL RECIATEDS OF SAID COUNTY.

PREPARED UNDER THE SUPERVISION OF:

MARK L. RAAB RCE 29616

DATE